



Council Meeting

02-13-24

6:00 p.m.



MORGAN CITY COUNCIL AGENDA - AMENDED
FEBRUARY 13, 2024 – 6:00 P.M.
MORGAN, UTAH

PUBLIC NOTICE is hereby given that the Morgan City Council will hold a public meeting in the Council Room in the City Office Building, 90 West Young Street, Morgan, Utah, commencing at 6:00 p.m. on February 13, 2024. The public meeting will be live streamed on YouTube and a recording available on <https://morgancityut.org/meetings>.

WORK MEETING – 6:00 P.M.

1. Joint Annual Training – City Council and Planning Commission – Gary Crane, City Attorney
(Conflict of Interest, Open & Public Meetings Act, and Sexual Harassment)
2. Discussion – Draft Short-Term Rental Ordinance

GENERAL MEETING – 7:00 P.M.

1. A. Welcome - Mayor Steve Gale
B. Pledge of Allegiance and Opening Ceremony
C. Approval of Meeting's Agenda
2. **CONSENT AGENDA:**
 - A. Minutes of the City Council Work Meeting – December 12, 2023;
 - B. Minutes of the City Council Meeting – December 12, 2023;
 - C. Minutes of the City Council Meeting – January 9, 2024; and
 - D. Warrants – (01/05/24 – 02/09/24)
3. **CITIZEN COMMENTS** (Time has been set aside for the public to express their ideas, concerns, and comments. Comments are limited to 3 minutes per person with a total of 30 minutes for this item. Open Comment Cards are available on the City's website, morgancityut.org, and are to be filled out and submitted to the City Recorder before 5:00 p.m. on the day of the meeting.)
4. **VERBAL PRESENTATION**
 - A. Roads to Independence – Kellie Spencer
5. **ACTIVE AGENDA**
 - A. Review/Action – Resolution Accepting Quit Claim Deeds to Morgan City From Ann W. Wardell and the Board of Education Morgan County School District for the Installation of a Sewer Lift Station to be Installed on Property Along the South Side of Young Street East of Morgan Elementary School – Resolution 24-04
6. **CITY REPORTS AND BUSINESS**
 - A. City Council
 - B. City Manager Updates
 - Free Transfer Station Voucher for 2024 (300 Free Dump Passes Handed out in 2023)
 - Weber River State Street Technical Bridge Study
 - Professional Services Agreement – Legal Services – Gary Crane
 - Agreement to Accept Sludge From Mountain Green Sewer District
 - UAMPS Workshops – February 15, 2024
 - Service Orders – 01/01/2023 – 12/31/2023
 - Tolling Agreement with DEQ

7. ADJOURN

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- A Work Session will be held prior to the General Meeting to discuss miscellaneous matters if needed.
 - This meeting will also be live streamed via <https://morgancityut.org>.
 - The Council at its discretion may rearrange the order of any item(s) on the agenda.

- In compliance with the American with Disabilities Act, individuals needing special accommodation (including auxiliary communicative aids and service) during the meeting should notify Denise Woods, City Recorder, at (801) 829-3461 at least 48 hours prior to the meeting.
 - This meeting may involve the use of electronic communications for some of the members of this public body. The anchor location for the meeting shall be the Morgan Council Conference Room, 90 West Young Street, Morgan, Utah. Elected Officials at remote locations may be connected to the meeting electronically to participate.
 - Notice is hereby given that by motion of the Morgan City Council, pursuant to Title 52, Chapter 4 of the Utah Code, the City Council may vote to hold a closed session for any of the purposes identified in that Chapter.
 - The undersigned, duly appointed City Recorder does hereby certify that the above notice and agenda was posted within the Morgan City limits on this **12th day of February, 2024** at Morgan City Hall, on the Utah State Public Notice Website (<https://www.utah.gov/pmn>), on the City's Website (<https://morgancityut.org>), and three public places within the City.
 - The 2024 meeting schedule was posted on the City's Website and Public Notice Website on December 12, 2023.
- /s/ Denise Woods, City Recorder

DRAFT

ORDINANCE 24-01

AN ORDINANCE ENACTING TITLE 3, CHAPTER 3.08 – TRANSIENT LODGING FACILITIES OF THE MORGAN CITY CODE; PROVIDING FOR REPEALER; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN IMMEDIATE EFFECTIVE DATE.

WHEREAS,

WHEREAS,

WHEREAS, the City Council of Morgan City deems it to be in the best interest of the citizens of Morgan City to amend

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF MORGAN, UTAH:

SECTION 1 Repealer. If any provisions of the Morgan City Code heretofore adopted are inconsistent herewith they are hereby repealed.

SECTION 2. Enactment. Title 3, Chapter 3.08 – Transient Lodging Facilities of the Morgan City Code is hereby enacted/amended to read as follows:

Chapter 3.08 TRANSIENT LODGING FACILITIES

3.08.010. - Purpose.

The purpose of this chapter is to establish use and development regulations for transient lodging facilities to ensure their compatibility with ~~adjoining~~ **surrounding** uses, particularly when located in a residential zone.

(Ord. No. ~~2022-62~~, 2-16-2023)

3.08.020. - Definitions.

Accessory dwelling unit (ADU) means a subordinate residential dwelling unit that is being used to provide long-term or short-term housing of any person not qualifying as the property owner's family, as that term is defined in this section. Each subordinate residential dwelling unit meeting this definition shall constitute a separate ADU regardless of how the units are configured or accessed. Guesthouses and casitas shall be considered an ADU when used for long-term or short-term housing of any person not qualifying as the property owner's family. An ADU may be internal, attached, or detached from the primary dwelling. All ADUs must meet the requirements of ~~chapter 41~~ of this title.

Bed and breakfast, home means a limited commercial activity within an owner occupied residential structure where not more than four sleeping rooms may be rented to paying guests on a nightly basis and the breakfast meal is provided for in the rental rate pursuant to the requirements of ~~chapter 51~~ of this title.

Bed and breakfast inn means a commercial activity within a residential structure in a residential or a commercial zone in which rooms may be rented to paying guests on a nightly basis and the breakfast meal is provided as part of the accommodation pursuant to the requirements of this chapter.

Hostel means an establishment in which people are lodged for less than a week at a time, excluding short-term rental complexes, bed and breakfast inns; hotels; and motels.

Hotel means an establishment with or without fixed cooking facilities in individual rooms offering transient lodging accommodations to the general public, and which may provide additional services such as restaurants and meeting rooms. Hotels shall contain four or more sleeping rooms.

Residential hosting means a limited commercial activity within an owner-occupied single family residential structure where an ADU not occupied by the full-time residents is used to house persons not qualifying as the property owner's family on a short-term basis.

Residential hosting facility means a structure or any portion thereof being used for residential hosting.

Short-term rental means a structure, room, or space that qualifies as a transient lodging facility, but excluding hotels and motels.

Short-term rental complex means any group of two to three short-term rental units within commercial zones.

Transient lodging facility means any establishment that receives payment, compensation, value, trade, or consideration in any form in exchange for the use of any unit for one to 30 days, including any hotel, motel, time period unit, hostel, boarding house, vacation rental property, short-term rental, whole home vacation rental, or bed and breakfast inn.

Whole home vacation rental means a form of a transient lodging facility specifically classified as an entire single family residential structure that is located in a single family zone, is rented out on a short-term basis, and is not owner-occupied. Whole home vacation rentals are located in a single family zone as identified in chapters 10-13 and 10-14 of this Code, are regulated on a per capita and unit separation basis by this Code, and are managed locally.

~~Terms and phrases used in this chapter are found in chapter 3 of this title.~~

~~(Ord. No. [2022-62](#), 2-16-2023)~~

3.08.030. - Management.

A. Each bed and breakfast inn, boarding house, hostel, hotel, or motel must maintain a management office on the premises at all times that is under the immediate supervision of a manager or attendant. The management office shall remain continuously open and staffed whenever guests are registered or present or when the facility is open to receive guests.

B. Short-term rental complexes must have management located within **30 minutes of Hurricane Morgan** City boundaries and be available at all times to respond to complaints or issues related to the complex. A phone number for management must be posted within each unit and be given to the City with the business license application. Management shall inform the City if the contact phone number is updated.

C. Residential hosting facilities shall be managed by the resident owner and meet accessory dwelling unit standards in ~~title 10, chapter 41 of~~ this Code.

~~(Ord. No. [2022-62](#), 2-16-2023)~~

3.08.040. - Disclosure of available rooms.

Each transient lodging facility shall disclose to the business license officer the current number of rooms available and/or held out for public accommodation, or, in the case of short-term rentals, the total number of people the dwelling can safely accommodate:

- A. At the time of initial licensure or license renewal; and
- B. Within 72 hours of any change in the number of such available rooms or accommodation of guests.

(Ord. No. 2022-62, 2-16-2023)

3.08.050. - Display of license; ~~guest register~~.

A. Business license required. No transient lodging facility shall be occupied or used until such time that the owner has obtained a business license in accordance with this section's provisions. A current, valid business license shall be posted in a conspicuous place in each transient lodging facility.

~~B. A register of all guests shall be kept at all times on the transient lodging facility premises, except for short term rentals or short term rental complexes. The guest register shall contain in ink the following information about each guest for which the transient lodging facility affords accommodations:~~

- ~~1. Name and permanent address.~~
- ~~2. Dates of arrival at the transient lodging facility and departure from the transient lodging facility.~~
- ~~3. License plate number, state of licensure, make, type, and color of all motor vehicles.~~
- ~~4. Verification of a form of picture identification, including, but not limited to, driver's license, passport, or state issued identification card showing current name, address, and age of person registering and indicating which type of identification was verified and the identification number shown on said identification.~~

~~C. The guest register required by this section shall be kept current and shall be immediately available at all times for inspection upon the demand of police officers or City officials.~~

(Ord. No. 2022-62, 2-16-2023)

3.08.060. - Occupancy.

It shall be unlawful for any transient lodging facility unit to be occupied by a greater number of persons than that which it is designed or furnished to accommodate.

(Ord. No. 2022-62, 2-16-2023)

3.08.070. - Responsibility for minors.

No transient lodging facilities unit shall be rented, leased, or registered to any person under the age of 18 years. Each person to whom a lodging unit is rented, leased, or registered shall be responsible for any minors occupying such unit and shall remain on the transient lodging facility premises at all times while there are minors occupying such unit.

(Ord. No. ~~2022-62~~, 2-16-2023)

3.08.080. - Length of stay.

No person shall occupy any unit or combination of units at any one transient lodging facility for longer than 30 consecutive days, and no transient lodging facility shall permit any person to occupy any unit or combination of units on the facility premises for longer than 30 consecutive days. This section shall not apply to federal, state, or municipal law enforcement or emergency personnel, or to transient lodging facilities renting, leasing, or registering units to such personnel. Short-term rental properties within residential and recreation resort zones may be occupied for longer than 30 days but must still comply with all short-term rental regulations.

(Ord. No. ~~2022-62~~, 2-16-2023)

3.08.090. - Sanitary facilities.

A. Each unit within a transient lodging facility held out for public accommodation must comply with the minimum rules established by the state department of health.

B. It shall be unlawful to rent, lease, or otherwise hold out for public accommodation any transient lodging facility unit that does not have:

1. A complete operable bathroom, including flush toilet, sink, and bath or shower in working order; and

2. For each guest, an adequate daily supply of at least the following sanitary supplies:

a. Hot and cold running water;

b. Soap;

c. Towels;

d. Toilet paper; and

e. Clean linen.

C. Each transient lodging facility shall be cleaned after the departure of each guest and before the arrival of any subsequent guest.

(Ord. No. ~~2022-62~~, 2-16-2023)

3.08.100. - Inspections.

Each transient lodging facility shall comply and cooperate with any fire, ~~land use~~, code enforcement, building, health, or other inspection conducted by municipal officials, with or without notice. Each short-term rental unit shall be inspected by the Fire Marshal or their representative each year prior to the renewal of the business license for the short-term rental.

(Ord. No. ~~2022-62~~, 2-16-2023)

3.08.110. - Duty to report.

Any owner, manager, or attendant of any facility covered by this section shall report promptly to the proper authorities any violations of a municipal ordinance or any violation of law which he or she has reason to believe was or is being committed on the premises.

(Ord. No. [2022-62](#), 2-16-2023)

3.08.120. - General development and maintenance standards.

A. Maintenance standards. Any property that contains a dwelling which is licensed as transient lodging facilities shall conform to the following standards:

1. Structures shall be properly maintained, painted and kept in good repair, and grounds and landscaped areas shall be properly maintained and watered in order that the use in no way detracts from the general appearance of the area;

2. For short-term rentals, the use of a dwelling as a short-term rental shall not in any way change the appearance of the dwelling or property for residential purposes; and

3. Each sleeping room must meet current international residential codes for egress and be equipped with smoke and CO2 detectors. A fire exiting route plan and maximum occupancy number must be posted in each sleeping room.

B. Prevention of noise, nuisance, or trespass at short-term rentals. The owner of any short-term rental shall be responsible to ensure that guests or occupants do not:

1. Create noises that by reason of time, nature, intensity, or duration are out of character with noises customarily heard in the surrounding residential neighborhood.

2. Disturb the peace of surrounding residential property residents by engaging in shouting, fighting, playing of loud music, racing of cars or recreational vehicles on streets, engaging in outside recreational activities after 10:00 p.m., or other similar activities.

3. Interfere with the privacy of surrounding residents or trespass onto surrounding properties.

4. Allow pets or animals to create noise, roam the streets, trespass on neighboring properties, or create a mess that is not cleaned up by the owner or custodian of the pet or animal.

5. Engage in any disorderly or illegal conduct, including illegal consumption of drugs and alcohol.

C. Required posting. The following information must be posted in a clear, concise, and unambiguous manner and in a conspicuous location inside any dwelling licensed as a short-term rental:

1. A copy of the short-term rental business license.

2. The name, address, and phone number of the owner or property manager.

3. The location of all fire extinguishers.

4. A list of all rules applicable for short-term rentals.

5. The maximum occupancy of the short-term rental and the maximum number of vehicles allowed.

D. *Miscellaneous rules and regulations.* The following rules and regulations shall apply to any property for which a transient lodging facilities license has been issued:

1. Outdoor pools, hot tubs, or spas shall not be used between the hours of 11:00 p.m. and 6:00 a.m.

2. Maximum occupancy in any dwelling licensed as a short-term rental shall be ten persons at any one time. If, however, the property has a fire sprinkler system or other fire suppression system acceptable to the [Hurricane Valley Fire District Fire Department](#), a greater occupancy may be approved. Maximum occupancy of the dwelling must be included in the regulations sign.

3. The owner of any property containing a dwelling licensed as a short-term rental shall cause to be displayed in a City approved location on the exterior of the property an approved sign containing the name and 24-hour per day, 365-day per year telephone number of the owner or other party designated by the owner as property manager who will be responsible for receiving and resolving complaints regarding activities on the property and the conduct of its occupants and guests. The sign shall not exceed 12 inches by 18 inches and shall be the only sign other than an address permitted on a short-term rental property.

4. The owner or property manager shall provide information on current occupants to police, emergency, or City personnel as requested. The owner or other person designated as the property manager shall respond to complaints and concerns within one hour of any phone call or other notification. Failure of the owner or property manager to respond in a timely manner may result in a violation and possible fines to the business license holder and property owner.

5. The requirements of this section shall be in effect throughout the time a short-term rental license is in effect on the property, regardless of whether the property is occupied by the owner, nonpaying guests of the owner, or paying guests of the owner. The City finds that, given the practical difficulty of determining whether or not the occupants are paying guests, enforcement of the requirements contained in this section shall be based on whether the property is licensed as a short-term rental.

6. An inspection of a short-term rental property for compliance with these regulations shall be performed prior to the issuance of a business license and shall be required each year before renewal of the business license. Additional inspections may be performed with 24-hour notice to the license holder/property manager if deemed necessary by the City.

7. The owner of any dwelling licensed as a short-term rental shall be required to collect and remit on a timely basis transient lodging taxes pursuant to Utah law.

(Ord. No. [2022-62](#), 2-16-2023)

3.08.130. - Whole home vacation rentals and other short-term rental standards.

A. Regulations and restrictions imposed by this section are in recognition of the premise that short-term rentals provide lodging for a transient population that may or may not honor neighborhood mores or exhibit neighborly consideration to the same extent as permanent residents. Separation requirements

listed in subsection C of this section and total license limits listed in subsection D of this section are based on a desire to maintain the overall residential character of neighborhoods and the purpose of single-family residential zones to promote safe locations for residential uses.

B. *Business license required.* No dwelling in any permitted zone shall be occupied or used as short-term rental until such time that the owner has obtained a business license issued in accordance with the provisions of this section.

C. *Conditions for issuance of a business license for a short-term rental.* Issuance of a short-term rental business license by the Business License Officer shall be subject to the following:

1. A complete application for a short-term rental business license shall have been submitted ~~in accordance with~~ section 3-1-5, and which shall also include:

a. The name, address, and phone number of the owner or other person designated by the owner as the property manager who shall be responsible for ensuring compliance with the rules and regulations specified in this section, and

b. A valid state tax number for remittance of transient lodging taxes.

2. The dwelling unit for which the business license is sought shall be located in a permitted zone according to this title, have been built to meet building and fire codes for transient occupancy, and have been issued a certificate of occupancy.

3. Portions of a single-family dwelling may not be used as a short-term rental unless located within a recreation resort zone or appropriately licensed as a residential hosting facility in accordance with the regulations for that use. A whole home vacation rental and a residential hosting facility located in a residential zone may not be located in the same single-family dwelling.

~~4. In permitted single family zones, the owner of a single family dwelling for which a short-term rental business license is sought shall not hold a business license to operate another short term rental within the City limits. For purposes of this subsection, "owner" means any individual, corporation, partnership, limited liability company, trust or other entity which has a legal or equitable ownership interest in the single family dwelling, or any individual who has an ownership or beneficial interest in any corporation, partnership, limited liability company, trust, or other entity which has a legal or equitable ownership interest in the single family dwelling.~~

~~5. In permitted single family zones, a whole home vacation rental license shall not be issued if there is another licensed whole home vacation rental property located within 300 feet, as measured along the same street or around the corner, of the front property line corners of the property where the proposed whole home vacation rental license is being sought.~~

~~D. *Limit on the total number of whole home vacation rental licenses within single family zones as contained in title 10, chapters 13 and 14 of this Code.* The total number of whole home vacation rental business licenses issued within single family zones shall be limited in accordance with the following:~~

~~1. The maximum number of whole home vacation rental business licenses for properties in single family zones to be issued shall be based on the City's total population, allowing three licenses for every 1,000 people of the total population.~~

~~2. The total number of licenses available each year shall be recalculated based on an estimated population derived by adding the total number of new dwelling units times 2.779 residents per unit to~~

~~the prior year's base population. The City shall readjust the population numbers every ten years after the release of the census numbers. If the census numbers are lower than the City's projection, the City shall not revoke any issued license but shall not issue any additional licenses until the City population justifies additional license availability.~~

~~3. If, after the maximum number of licenses has been issued, an application meeting all other requirements for issuance of a license is received, the application shall be placed on a waiting list in order of the date of receipt. No fees will be due until a license becomes available. When a license becomes available, the first applicant on the waiting list shall be notified of the license availability, and the applicant shall have 45 days from the date of such notice to file a complete application and pay the filing fee, and six months thereafter to complete the licensing process. In the event that the applicant fails to file a complete application and filing fee within said 45 days, or fails to complete the licensing process within said six months, the application shall be deemed to have expired, and the next applicant will be notified of the license availability, and the same procedure shall apply.~~

~~4. In the event of a sale or other transfer of any property containing a dwelling licensed as a whole home vacation rental, the purchaser or transferee of the property is permitted to continue to use the property as a whole home vacation rental, but the purchaser or transferee shall be required to apply for a new license within 45 days of the date of purchase or transfer. In the event that the purchaser or transferee fails to apply for a new license within said 45 days, the license and ability to use the property as a whole home vacation rental will be forfeited, and the owner must reapply for any available license or be placed on the waiting list.~~

E. *Parking regulations.* The following parking regulations apply to property licensed as a whole home vacation rental:

1. No tenant, guest, or other person visiting a whole home vacation rental shall park on a public street.

2. Off-street parking shall be provided on the same lot as the dwelling that is licensed as a whole home vacation rental.

3. Off-street parking shall be provided at one vehicle per bedroom. Tandem spaces on a driveway may be used.

4. No off-street parking space may be located in front of the living area of the dwelling unless there is a circular driveway.

5. The number of vehicles permitted for the occupants of a whole home vacation rental shall be restricted to the number of off-street parking spaces provided by the owner.

6. No tenant, guest, or other person visiting a whole home vacation rental shall park or allow to be parked recreational vehicles or trailers of any kind on the public street.

7. Owner shall supply a parking plan that complies with this section with the business license application.

(Ord. No. [2022-62](#), 2-16-2023)

3.08.140. - Residential hosting facilities.

A. *Conformity with standards and business license required.* No residential hosting facility shall be established unless:

1. The facility can meet the development standards of this chapter;
2. A business license has been issued in accordance with the regulations in [title 3](#) of this Code;
3. Operation of a residential hosting facility without a current City business license is considered a violation and each day of operation shall be considered a separate offense.

B. *Development standards; residential hosting facilities.* The development standards set forth in this section shall apply to all residential hosting facilities.

1. *Location.* A residential hosting facility shall be located in a single-family residential structure deemed suitable for habitation.

2. *Number of accessory dwelling units (ADU).* Only one ADU may be used as a residential hosting facility on any one lot, ~~as those terms are defined in [title 10](#), chapter 3 and [chapter 41](#) of this Code.~~

3. *Accessory dwelling units.* The use of an ADU for a residential hosting facility shall be governed by this chapter, ~~chapter 10-41,~~ and other applicable chapters.

4. *Guestrooms.* Rentable guestrooms shall be limited to not more than four bedrooms in the entirety of one ADU. The total number of occupants, including an owner, owner's family, and guests occupying the home at one time shall be no more than ten. Maximum occupancy must be posted in each rentable guestroom.

5. *Number of bookings.* No more than one booking is allowed and no more than one party may occupy any residential hosting facility at any one time.

6. *Current codes.* Guestrooms must meet current international residential codes for egress and be provided with smoke and CO2 detectors. A fire exiting route plan must be posted in each sleeping guestroom.

7. *Meals.* If meals are offered, meals shall be served only to overnight guests.

8. *Landscaping.* Landscaping shall be provided and maintained to minimize impact on neighboring properties, to retain the residential character, and to provide a visual buffer for on-site parking in relation to adjacent properties and the street.

9. *Parking.* The following parking regulations apply to residential hosting facilities:

- a. Two off-street parking spaces shall be provided for the owner.
- b. One space shall be provided per guestroom.
- c. Off-street parking shall be provided on the same lot as the residential hosting facility.
- d. Tandem parking is permitted for one space only. Spaces that are located directly in front of the garage doors may not be counted as off-street parking.

e. Off-street parking may not be provided within the front yard setback other than the existing driveway.

f. No tenant, guest, or other person visiting a residential hosting facility shall park on a public street.

g. The number of vehicles permitted for the occupants of a residential hosting facility shall be restricted to the number of off-street parking spaces provided by the owner.

h. No tenant, guest, or other person visiting a residential hosting facility shall park or allow to be parked recreational vehicles or trailers of any kind on the public street.

i. Owner shall supply a parking plan that complies with this section with the business license application.

9. *Signs.* Only one sign not larger than one foot by two foot in size may be used to advertise a residential hosting facility. The sign may not be illuminated unless by a single down facing low wattage fixture.

10. *Street standards.* A residential hosting facility shall be located on a street that meets fire code requirements.

11. *Structural modifications.* A valid building permit is required before any structural modifications or additions may be made to a building to be used pursuant to this chapter. A business license to operate a residential hosting facility shall not be issued for a property that was modified or added to without a valid building permit. A previously-issued business license shall be subject to revocation pursuant to [title 3](#) of this Code upon evidence that the structure was modified or added to without a valid building permit. Provided, however, that a business license may be issued or maintained for a structure that was modified or constructed without a building permit if all applicable fines are paid and the Building Official is provided with adequate evidence to the satisfaction of the Official that the modification or construction was done in compliance with the building code and fire code.

12. *Other regulations.* A residential hosting facility is subject to all other applicable sections of this Code, including, but not limited to, building and fire codes, transient lodging facility regulations, and transient room tax requirements.

(Ord. No. [2022-62](#), 2-16-2023)

~~Sec. 10-51-15. Recreation resort units.~~

~~Recreation resort short-term rental units shall be subject to the provision of this chapter.~~

(Ord. No. [2022-62](#), 2-16-2023)

Sec. - Development standards; bed and breakfast inn.

A bed and breakfast inn may be established in any zone where allowed as a permitted or conditional use, and shall conform to applicable commercial construction codes, zoning requirements, state health department requirements, and the requirements of any other applicable codes and/or ordinances adopted by the City.

(Ord. No. ~~2022-62~~, 2-16-2023)

3.08.150. - Penalty; suspension or revocation of license.

A. Enforcement provisions.

1. Any owner of any dwelling within the City who allows or permits occupation of said dwelling as a short-term rental without having first obtained a business license in accordance with the provisions of this section shall be in violation of this section and shall be subject to a civil citation with a penalty of \$750.00 per day ~~as set forth in section 1-4-5 of this Code~~. A violator of this paragraph shall also be guilty of an infraction, which shall be punishable by a fine of up to \$750.00 for each such violation. In addition, in the event that such dwelling is on the waiting list for a whole home vacation rental as described in this chapter at the time of such violation, the business license application for said dwelling shall be removed from the waiting list and the dwelling shall not be considered for a short-term rental business license unless a new application is submitted.

2. Any owner of any dwelling within the City, who, having first obtained a business license for use or occupation of said dwelling as a short-term rental, thereafter operates or permits the operation of said short-term rental in violation of the terms and provisions of this section shall be subject to a civil citation with a penalty of \$750.00 per day ~~as set forth in section 1-4-5 of this Code~~. A violator of this paragraph shall also be guilty of an infraction, and shall be punished by a fine of up to \$750.00 for each such violation.

3. Any person who occupies a short-term rental as a guest and who violates any local ordinance or state law shall be subject to arrest, issuance of a citation, or other civil or criminal process in accordance with all state, federal or local statutes, rules, or ordinances.

4. Violation of any provision of this section regulating short-term rentals shall constitute a separate offense for each day said violation occurs or continues.

5. In the event of three or more violations of this section committed by an owner or guest, or any combination of the two, within any 12-month period, the City Council may, depending on the nature or extent of the violations, proceed with the revocation of the business license for any short-term rental property in accordance with the provisions of the general business license ordinance.

6. In the event of a license being revoked by the City Council for violations of this chapter, the owner of the property in question shall not be issued a new short-term rental business license for a period of one year.

B. In addition to the denial, suspension, revocation, or refusal to renew a license as outlined in this chapter, any licensee who shall operate a transient lodging facility in violation of this chapter, and/or any person designated by the licensee as the manager or person in charge of daily operation of said facility who shall permit or allow said facility to operate in violation of this chapter, shall be guilty of an infraction and shall be punished for each offense by a fine ~~as provided in section 1-4-1 of this Code~~.

(Ord. No. ~~2022-62~~, 2-16-2023)

SECTION 3. Severability. If any section, subsection, sentence, clause or phrase of this ordinance is declared invalid or unconstitutional by a court of competent jurisdiction, said portion shall be severed and such declaration shall not affect the validity of the remainder of this ordinance.

SECTION 4. **Effective Date.** This ordinance shall become effective immediately upon posting.

PASSED AND ADOPTED by the **City Council of Morgan, Utah**, this _____ day of _____, 2024.

STEVE GALE, Mayor

ATTEST:

DENISE WOODS, City Recorder

CITY COUNCIL VOTE AS RECORDED:

	Aye	Nay	Excused
Councilmember London	___	___	___
Councilmember Wardell	___	___	___
Councilmember Turner	___	___	___
Councilmember Richins	___	___	___
Councilmember Alexander	___	___	___

(In the event of a tie vote of the Council):

Mayor Gale	___	___
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**MINUTES OF MORGAN CITY
COUNCIL WORK MEETING**

DECEMBER 12, 2023; 6:00 P.M.

MAYOR AND COUNCILMEMBERS

PRESENT:

Mayor Steve Gale, Tony London, Jeff Wardell, Jeffery Richins and Dave Alexander

STAFF PRESENT:

Ty Bailey, City Manager; Gary Crane, City Attorney; Jake Young, City Planner, CitiDesign; and Denise Woods, City Recorder

EXCUSED:

Eric Turner

This meeting was held in the Council Conference Room of the Morgan City Offices, 90 West Young Street, Morgan, Utah. The meeting was streamed live on YouTube and available for viewing on the City's website – morgancityut.org.

This meeting was called to order by Mayor, Steve Gale.

ITEMS FOR DISCUSSION

AN ORDINANCE ENACTING TITLE 10, CHAPTER 10.16, SECTION 10.16.180 ENTITLED ACCESSORY DWELLING UNITS OF THE MORGAN CITY CODE; PROVIDING FOR REPEALER; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN IMMEDIATE EFFECTIVE DATE – ORDINANCE 23-16

Jake Young, City Planer, CitiDesign, discussed the proposed ordinance related to state law and accessory dwelling units. He stated the existing state law required all cities to allow for accessory dwelling units (ADUs). The law specified that these ADUs could be internal, within the building footprint, and now even included the possibility of converting a garage for this purpose.

Jake stated over the past year, efforts were made to enact an ordinance to formalize the allowance of ADUs within the City. The decision was driven by the fact that state law already permitted it, making it necessary for the City to align its regulations accordingly.

Jake highlighted that the Planning Commission had actively exercised its authority to control various aspects related to ADUs. This included considerations such as parking regulations and the possibility of requiring owner occupancy.

As for the definitions and understanding of ADUs, Jake explained that these units could take various forms, from being in the attic to secondary units over garages. The ordinance specifically added definitions like "attached accessory dwelling unit" for those expanding their existing homes and "detached accessory dwelling unit" for completely separate units.

Jake also touched upon the fact that the ordinance, as proposed, would permit individuals to have up to two accessory dwelling units, considering both internal and detached units. However, he clarified that several conditions, including parking requirements, needed to be met before construction could commence.

Jake referenced other cities in Utah, such as Farmington and Layton, which had allowed ADUs for years without significant issues. He mentioned that the prevalence of ADUs in cities with the highest adoption rates accounted for only 5% of all homes.

Jake addressed the expectation that not everyone would immediately rush to construct accessory dwelling units (ADUs) in Utah. He acknowledged that there might be initial concerns or misconceptions about a sudden surge in ADU construction, but he emphasized the importance of recognizing the practicality of the situation.

Jake addressed questions regarding the various types of ADUs. He clarified that an ADU was distinct from an RV or a mobile home. He stressed that ADUs must be on a foundation, and while there might be anticipated resistance or objections to this requirement, it was a specific stipulation in the definition of ADUs.

Jake stated that there might be individuals already residing in motor homes next to houses, falsely claiming them as ADUs. He affirmed that such mobile units did not meet the established definition of ADUs, which explicitly mandated a foundation. Addressing the situation where someone might be living in an RV next to a house, he indicated that this scenario wouldn't fall under the ADU ordinance, as there are likely existing regulations and codes governing such situations, possibly deeming it a code violation. He said if someone was living in an RV on a property, the ADU ordinance wouldn't be applicable, as there would likely be separate regulations limiting the duration of RV stays. He admitted that he didn't have precise information on the local regulations but indicated that living in an RV near a house might be subject to specific limitations.

Councilmember London mentioned the enforcement issue was quite challenging, as the City didn't have the resources or staff to proactively address this issue. He explained if a resident had concerns about activities in their neighborhood and suspected a violation, they could approach the City to file a complaint and the City would then investigate the reported issue.

Jake explained permitted uses for accessory dwelling units (ADUs) mirrored those of single-family homes. The regulations specified that whatever activities were allowable in a single-family home were also permissible in an ADU. This encompassed home-based businesses, living arrangements, and considerations like farm animals, all subject to the property's existing allowances.

Jake explained that ADUs were allowed in every residential zone (R), and additionally marked on commercial zones with some conditions. Notably, existing residential homes on State Street, now in commercial zones due to changes over time, were considered non-conforming but were permitted to remain residential until sold. An important point was raised regarding the tie between the use of the main property and the accessory use. Specifically, if a residential property transitioned to a commercial use, such as converting the main home into an office, any existing ADU on the property might need to be removed.

Gary Crane, City Attorney confirmed this perspective.

Jake stated the regulations limited commercial use with an existing home to internal ADUs only, excluding detached ADUs. The rationale for this exclusion was to facilitate the transition of these commercial homes into different uses in the future, leveraging economic opportunities. Additionally, detached ADUs were explicitly prohibited on flag lots due to potential challenges related to emergency access, utilities, and overall practicality in such configurations, i.e., a home behind a home, behind a home.

Jake explained the ADU application process. Depending on the type of ADU, whether it was internal, attached, or detached, the requirements varied in complexity. For internal ADUs, applicants only needed to

complete a few specific steps. However, for attached or detached ADUs, individuals were required to submit building plans and obtain a building permit, among other necessary documents.

Councilmember Alexander inquired about the status of the application, specifically whether they were still in the process of development or if they had already been prepared and were ready for use.

Jake stated they were still in the process of developing the process and applications. He said once the ordinance was adopted the process and applications would be finalized.

Ty Bailey, City Manager, explained the fee had not been set yet. The process for establishing fees was conducted through the Consolidated Fee Schedule. The fees for short-term rentals would be set through business licensing and the fee structure for the ADUs aligned with the building permit, with considerations for the number of inspections, plan reviews, and staff time involved.

Jake clarified that there were distinct permits involved, including the land use permit for accessory dwelling units and the building permit. Both permits adhere to the Consolidated Fee Schedule, ensuring consistency in the fee structure. He said once the ordinance had been adopted the fees would be calculated and an amendment to the Consolidated Fee Schedule would come before the Council for approval to set the fees.

Jake mentioned the standards which applied to all accessory dwelling units (ADUs) which included the following:

- **Separate Sales Prohibition:** All accessory dwelling units (ADUs) were subject to a strict standard prohibiting separate sales, addressing concerns raised by attempts to build detached units for subsequent property division.
- **Building Code Compliance:** Strict adherence to all applicable building codes was a fundamental requirement for any ADU project, ensuring safety and compliance with regulatory standards.
- **Sensitive Lands Review:** For ADUs located in sensitive lands, particularly detached units, a review by City staff was mandated as per the sensitive lands ordinance, with the hope that the review process would remain relatively light.
- **Prohibition of Separate Meters:** While state regulations allowed for separate meters, the decision for ADUs was contingent upon the City's perspective, considering the complexities associated with separate metering and aligning with certain divisions within the municipal structure.
- **Setback Requirements:** Setback requirements for attached ADUs mirrored those of the main structure, given their integration into the primary building. However, detached ADUs were subject to distinct setback provisions outlined in the ordinance.
- **Architectural Design Conformity:** Design standards were outlined, requiring 25% of the exterior material of ADUs to match the main house, promoting architectural cohesion. Similarly, color choices for ADUs were expected to align with 60% of the main house.
- **Outside Entrance Mandate:** Detached ADUs were mandated to have an outside entrance, ensuring convenient access for tenants. This decision aimed to address practical concerns, providing a clear and accessible path for renters, especially during adverse weather conditions.
- **Single-Family Rental Restriction:** In the past, the stipulation was that no more than one family could rent an Accessory Dwelling Unit (ADU) at any given time. This restriction aimed to regulate occupancy and usage.
- **State Code Reference:** Reference was made to the state code concerning family definitions, ensuring compliance.

The discussion continued with pointing out the following for internal, attached, and detached ADUs.

- **Internal and Attached ADUs:**

- State code regulations allowed for internal and attached ADUs, with a prohibition on lots less than 6,000 square feet.
- Off-street parking was a requirement for ADUs, with an additional space mandated on top of the existing parking requirements for the primary residence.
- ADUs were not permitted in mobile homes.
- **Detached ADUs:**
 - Detached ADUs were subject to specific conditions, such as not being built on slopes greater than 30%.
 - Architectural and color matching were requirements for detached ADUs.
 - Separate building permits were necessary for detached ADUs, even if built concurrently with a single-family home.
 - Larger lot size, 10,000 square feet, was a requirement for detached ADUs.
 - Setback regulations included a 5-foot setback from the front of the home, 10-foot side yard setback (15 feet for corner lots), 10-foot rear setback, and a 10-foot distance from the primary structure.
 - The building code allowed for a 6-foot minimum distance between two buildings, as requested by the building department for fire safety.
- **Fire Safety Measures:**
 - A requirement was added that detached ADUs should not be more than 250 feet from the nearest fire hydrant.
 - Parking requirements for detached ADUs were set at one stall per bedroom.
 - The maximum height for detached ADUs was 25 feet, aligning with the height of single-family homes.
 - To address concerns about size, a regulation was established that the main floor of a detached ADU should not exceed the existing square footage of the primary dwelling's main floor or a maximum of 1,000 square feet. This ensured that ADUs remained accessory structures and not larger than the primary residence.
- **Termination Considerations:**
 - The termination of the land use allowance for an Accessory Dwelling Unit (ADU) was a key consideration.
 - Once an ADU was built, its permanence was evident, but the City retained the authority to revoke the residential use allowance.
 - Revocation meant restrictions on renting to individuals outside the family, and the possibility of revoking a business permit for non-compliance with landlord responsibilities.
- **Occupancy Requirements:**
 - Property owners were required to occupy the ADU if it was being rented, a mandate supported by the Planning Commission.
 - This requirement aimed to prevent homes from transforming into rental duplexes and encouraged home ownership for overall neighborhood stability.
 - The condition addressed potential concerns about the City approving additional units, emphasizing the gradual and organic growth of residential properties.
- **Flexibility in Occupancy:**
 - The requirement for one unit to be owner-occupied allowed property owners flexibility in deciding whether to reside in the ADU while renting out the main house or vice versa.
 - This ensured the ongoing presence of the property owner on the premises, regardless of the specific configuration of living arrangements.
- **Notices and Violations:**
 - The City retained authority over notices and violations related to ADUs.
 - Enforcement measures included the ability to place a lien on the property.
 - Violations could result in fines of \$100 per day, indicating a substantial deterrent and regulatory mechanism.

- These enforcement measures aimed to ensure compliance and deter any deviations from the established regulations, demonstrating the City's commitment to the proper use and management of ADUs.

Councilmember Alexander stated the proposed ordinance allowed for a denied approval application to be appealed through the appeal authority. He asked who the appeal authority would be.

Gary explained pursuant to the City Code an appeal authority was appointed when needed (Title 10, Chapter 10.10). This change was implemented to ensure a more streamlined and efficient process. Historically, three or four qualified individuals were pre-selected for this role.

Ty stated a recent training session he attended suggested potential challenges when appointing individuals at the time of a challenge, as the other party may not have an opportunity to provide input on the appointees. It was acknowledged that it had been a while since appointments were made, and there was a proposal to address this by revisiting the selection of qualified individuals.

Gary said often the attorney from another jurisdiction played a crucial role. For instance, Clint Drake from Bountiful used to be a part of Layton's appeal authority, and Layton reciprocated by having a representative on his team. He stated this reciprocal arrangement was a common practice. The selection process typically involved choosing someone from the land use group. The emphasis was on selecting an individual who could maintain objectivity and possessed comprehensive knowledge. The key consideration was to ensure that the selected person could approach matters impartially, especially in cases where there might be skepticism due to local affiliations.

Councilmember Alexander suggested referencing the existing City code in the proposed ordinance, specifically the section related to the appeal authority, for clarity and consistency.

Discussion commenced regarding the addressing section of the ordinance. For all ADUs the address would incorporate an "a," "b," or "c" designation alongside the house number for emergency services, or any location-specific purposes. This method ensured clarity and precision in specifying different units within the same address. Because the Morgan Post Office is a rural post office it will only deliver mail to the main house number.

Discussion regarding the concern of constructing the Accessory Dwelling Unit (ADU) before the primary residence. Ty pointed out that this approach could pose challenges unless both were part of a joint application. Ty emphasized the importance of having the main residence planned and in progress before considering the ADU. Concerns were raised about potential limitations if someone decided to build their dream home after constructing the ADU, considering factors were the placement of the ADU affecting the property and the positioning of the primary residence. Ty mentioned current regulations prohibited constructing structures like a barn before the main house. This raised the question of whether the ordinance needed addressing to accommodate such situations.

Jake suggested that the process might require obtaining plans for both units simultaneously to avoid future complications.

Ty considered the possibility of both building plans being approved at the same time to provide flexibility. However, he acknowledged the potential financial challenges and suggested that having the main residence built first or simultaneously could be a more prudent approach. He also expressed concerns about situations where a building permit was obtained but the construction was delayed or abandoned, leading to a reset in the process.

Jake suggested adding language to the ordinance stating that detached ADUs should be built after the primary dwelling was constructed or simultaneously.

TRAINING – GARY CRANE, CITY ATTORNEY

Gary said one of the most frustrating things he encountered during his time on the Hill was dealing with referendum issues. There was always a sentiment that referendums were sacred because they dealt with the electorate – the people who vote and their ability to vote. He provided some historical context. He explained Utah was one of the first states to adopt a referendum or initiative back in 1900. By 1920, about nine states had adopted some form of referendum or initiative. He said the individuals on the Hill believed there was a need for people to vote on issues, leading to the adoption of referendums. However, the original framers of these referendum and initiative provisions in the Constitution likely never anticipated that they would be used to limit someone else's use of their land. He said he believed that if they had foreseen this, they might have included restrictions.

Gary stated in subsequent years, the legislature exempted zoning from the referendum process. The Constitution stated that people have the right to vote on issues, but only as the legislature created rules for voting on those issues. The court has been cautious about ensuring the legislature doesn't overreach. For a long time, there were no rules addressing planning, zoning, and financial issues in referendums.

Gary said in the '70s, a provision was invoked to subject planning and zoning to referendums, but limited it to only certain legislative acts, i.e., a rezone, a massive rezone of the city, a large master plan change, or an annexation. Many states continued to exempt land use from referendums due to conflicting constitutional rights – people's right to develop their land versus their right to vote on issues. However, the legislature passed Senate Bill 199, stating that if a land use provision had received a 100% vote from the legislative body, it was not subject to referendum. This marked a significant shift in favor of land use and development.

Gary delved into specific cases, discussing a judge's determination regarding a referendum over high-density housing. The court's decisions and the evolving landscape of referendums in the state were highlighted, emphasizing the potential impact on property rights and development.

Overall, the training session provided insights into the complexities and challenges associated with the referendum process, particularly in the context of land use issues.

This meeting was adjourned at 7:03 p.m.

Denise Woods, City Recorder

Steve Gale, Mayor

These minutes were approved at the February 13, 2024 meeting.

**MINUTES OF MORGAN CITY
COUNCIL MEETING**

DECEMBER 12, 2023; 7:08 P.M.

**MAYOR AND COUNCILMEMBERS
PRESENT:**

Mayor Steve Gale, Tony London, Jeff Wardell, Jeffery Richins, and Dave Alexander

STAFF PRESENT IN-PERSON:

Ty Bailey, City Manager; Gary Crane, City Attorney; Denise Woods, City Recorder; Jake Young, CitiDesign, City Planner; and Cyler Preece, Water/Wastewater Operator;

EXCUSED:

Eric Turner

OTHERS PRESENT:

Ed Schultz, Wasatch Peaks Ranch; Rachel Preece and Kerry Preece

This meeting was held in the Council Conference Room of the Morgan City Offices, 90 West Young Street, Morgan, Utah. The meeting was streamed live on YouTube and available for viewing on the City's website – morgancityut.org.

This meeting was called to order by Mayor Steve Gale.

The pledge of allegiance was led by Councilmember Richins.

The opening ceremony was presented by Councilmember Wardell.

APPROVAL OF MEETING AGENDA

MOTION: Councilmember London moved to approve the agenda.

SECOND: Councilmember Richins

Vote was 4 ayes; Motion passed unanimously to approve the agenda; Councilmember Turner was absent.

MINUTES AND WARRANTS

MOTION: Councilmember Alexander moved to approve the following:
Minutes of the City Council Work Meeting – November 14, 2023;
Minutes of the City Council Meeting – November 14, 2023;
Minutes of the Special City Council Meeting – December 5, 2023; and
Warrants (11/09/2023 – 12/08/2023).

SECOND: Councilmember London

Vote was 4 ayes; Motion passed to approve the minutes with corrections made by Councilmember Alexander and one set of warrants; Councilmember Turner was absent.

CITIZEN COMMENTS

Ed Schultz, Wasatch Peaks Ranch – 4175 North Morgan Valley Drive, Morgan, Utah – Mr. Schultz addressed some recent changes in the community. He stated their company, Wasatch Peaks Ranch, had been an active member of this community for almost five years. A recent ruling had led to the transition from a temporary restraining order, due to ongoing litigation, to a preliminary injunction. He shared information about the impacts of these changes, as they have had a significant effect on us as a company and as members of the community.

Ed stated Wasatch Peaks Ranch employed over 190 individuals, 40 of whom are residents of Morgan. He said they had obtained 140 approvals from Morgan County, the State, and the US Army Corps of Engineers, all of which are now under question. The repercussions now extend to all members and citizens of the County, affecting taxpayers and school children. Last year, residents on the 50 home sites we platted and created in 2022 contributed \$2.2 million in tax payments to Morgan County. Although this discussion pertains to Morgan City, it's crucial to note that these Morgan County taxes also support the School District, benefiting many City residents and school children, with around 70% of the funding going to the School District. He said looking ahead to 2023, we have planned an additional 50-55 home sites, the tax implications of which are now uncertain. These new home sites, based on assessed values in 2022, could have potentially created up to another \$4.5 million in taxes for the County and the School District. We are actively working to understand the implications of these developments.

Ed emphasized that these impacts now extend community-wide, affecting all citizens, taxpayers, and school children. Furthermore, the ramifications reach beyond our immediate valley. He said Wasatch Peaks Ranch employed over 300 contract employees and subcontractors, whose work had been halted except for protective maintenance. The financial impact on these individuals, especially during the holiday season, is significant. Employees were based in various counties, including Morgan, Weber, Davis, Summit, Salt Lake, Tooele, and even parts further south.

Ed presented a dozen impact letters shared in a recent court hearing, representing companies of various sizes, such as Hunt Electric, Integrity Golf, Langan Engineering, Magleby Construction, and Whitaker Construction. Secondary, tertiary, and even quaternary impacts are starting to surface, affecting businesses and individuals in unforeseen ways. I have personally read each one and spoken with the individuals involved. It is anticipated that this will be a challenging Christmas for many people.

He stated while we firmly believe in constitutional rights, we acknowledge the need for a responsible exercise of those rights. My primary aim is to raise awareness about the wide-ranging impacts on friends, neighbors, fellow citizens, and their children and grandchildren.

Ed expressed his thanks to the Mayor and Council for their time and service.

VERBAL PRESENTATIONS

Cyler T. Preece – Cross Connection Control Program Administrator Certificate – Mayor presented Cyler his certificate and expressed appreciation on behalf of the City for his hard work and dedication to completing the program. He complimented Cyler on his work with the City.

ACTIVE AGENDA

AN ORDINANCE ENACTING TITLE 10, CHAPTER 10.16, SECTION 10.16.180 ENTITLED ACCESSORY DWELLING UNITS OF THE MORGAN CITY CODE; PROVIDING FOR REPEALER; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN IMMEDIATE EFFECTIVE DATE – ORDINANCE 23-16

Mayor stated City Staff, the Planning Commission, and the City Council had spent a great deal of time discussing and drafting this ordinance regarding accessory dwelling units. He turned the time over to Jake to present the ordinance to the City Council for adoption.

Jake Young, City Planner, CitiDesign, provided background information for future viewers, explaining that an accessory dwelling unit (ADU) was a second residential unit on a property, which can be internal, attached, or detached. He highlighted the secondary nature of ADUs in residential living and their significance for the community.

Jake stated a year ago, there was a joint session with the Planning Commission and the City Council where various topics, including ADUs, were discussed. At that time the City Council approved the pursuit of ADUs, and over the next six to seven months, the Planning Commission worked on crafting an ordinance. Last month, the Planning Commission recommended the ordinance to the City Council for approval. He stated the proposed ordinance allowed Morgan City residents to apply for internal, attached, or detached ADUs. He emphasized the foundation requirement for detached ADUs, ensuring they are not mobile homes, that utilities would not have additional metering, and arrangements for utility payments would need to be made between homeowners and ADU residents.

Jake touched upon the affordability aspect of ADUs, noting their potential to offer housing options and generate income for homeowners. The discussion also included potential changes to the ordinance, specifically in sections related to appeal authority and standards for detached ADUs. The proposed changes involved referencing the City Code on appeal authority and adding a requirement that detached ADUs be built after or simultaneously with the primary dwelling. Jake mentioned the building height regulations and suggested that the existing maximum height of 25 feet for accessory buildings might be applied to ADUs.

Discussion ensued regarding potential changes to the ordinance. The consensus leaned towards passing the ordinance as is.

MOTION: Councilmember Alexander moved to adopt Ordinance 23-16 – An Ordinance enacting Title 10, Chapter 10.16, Section 10.16.180 entitled Accessory Dwelling Units of the Morgan City Code; Providing for repealer; Providing for severability; and Providing for an immediate effective date; with the proposed changes in Section 10.16.180.07(D)(1)(d) to read, “A denied approval application may be appealed through the appeal authority pursuant to Title 10, Chapter 10.10 of the Morgan City Code; and Section 10.16.180.10 to be changed with the addition of Section 10.16.180.10(G) to read, “A detached ADU shall be built after or simultaneously to the primary structure.

SECOND: Councilmember London

Discussion on the Motion: The Council discussed and confirmed that these modifications would be incorporated into Section 10.16.180, providing clear guidelines for the construction timing of detached ADUs and clarification of appeal authority.

ROLL CALL VOTE: Dave Alexander – aye
Jeffery Richins – aye
Jeff Wardell – aye
Tony London – aye
Eric Turner – absent

Vote was 4 ayes; Motion passed unanimously to adopt Ordinance 23-16 – An Ordinance enacting Title 10, Chapter 10.16, Section 10.16.180 entitled Accessory Dwelling Units of the Morgan City Code; Providing for repealer; Providing for severability; and Providing for an immediate effective date; with the proposed changes in Section 10.16.180.07(D)(1)(d) to read, “A denied approval application may be appealed through the appeal authority pursuant to Title 10, Chapter 10.10 of the Morgan City Code; and Section 10.16.180.10 to be changed with the addition of Section 10.16.180.10(G) to read, “A detached ADU shall be built after or simultaneously to the primary structure; Councilmember Turner was absent.

BID AWARD – STATE STREET WATERLINE 2023 PROJECT – RESOLUTION 23-34

Ty Bailey, City Manager, provided information regarding the State Street Waterline 2023 Project. He explained that a leak had been discovered, specifically a lateral service leading to a far property, was found to be in poor condition. The project aimed to replace this section with a mainline, allowing for potential future connections if services were extended or property annexed. Competitive bids were received, and Ty expressed satisfaction with both the number of bids and their proximity in value. He stated the project, expected to commence in the spring. He emphasized that the work along State Street was essential and would likely be required regardless of annexation or other developments.

Ty mentioned that the engineer was comfortable with the company and the bid estimate was \$225,000.00.

Gary clarified that the standard practice was not to specify a bid amount but rather to authorize change orders as needed. The bid document contained all the necessary line-item pricing, and any changes would be handled within the established bid prices.

MOTION: Councilmember London moved to approve Resolution 23-34 – A Resolution authorizing an agreement with Allied Underground Technology for the State Street Waterline 2023 Project; Authorizing further negotiations and change orders necessary for the completion of the State Street Waterline 2023 Project.

SECOND: Councilmember Richins

Discussion on the Motion: No discussion.

ROLL CALL VOTE: Dave Alexander – aye
Jeffery Richins – aye
Jeff Wardell – aye
Tony London – aye
Eric Turner – absent

Vote was 4 ayes; Motion passed unanimously to approve Resolution 23-34 – A Resolution authorizing an agreement with Allied Underground Technology for the State Street Waterline 2023 Project; Authorizing further negotiations and change orders necessary for the completion of the State Street Waterline 2023 Project; Councilmember Turner was absent.

CITY REPORTS AND BUSINESS

COUNCIL REPORTS

Councilmember London provided feedback from citizens regarding a need for a crosswalk at the end of the sidewalk leading into Island Road. The concern was that while the new sidewalk was beneficial for children walking across, a significant number crossed 300 West to reach the adjacent subdivisions. He said the citizens had proposed the idea of a crosswalk to enhance safety.

In response, the suggestion was acknowledged, and it was mentioned that the current focus had been on sidewalks directly associated with schools. The possibility of a crosswalk at the specified location was considered, taking into account the need for additional striping. The responsibility for the road was clarified, and it was mentioned that, as of now, only school-related crosswalks had been implemented. The need to assess the pedestrian traffic volume before making a decision was highlighted. The discussion also touched upon studying the traffic flow in the area, considering that Island Road had traffic coming from different directions. It was agreed that further investigation would be conducted to evaluate the feasibility of implementing a crosswalk at the suggested location.

Councilmember Richins mentioned he had received complaints about the uncleared sidewalk along the vacant lot at the end of Riverside Park and suggested Code Enforcement get in contact with the owner and clear it, so it was safe for pedestrians.

Appreciation was expressed for City staff's efforts, especially in keeping walkways clear during the winter months.

CITY MANAGER UPDATES

Snowstorm – Ty informed the Council about the challenges with snow plowing during the last snowstorm. The new snowplow had broken and went back for repairs, and the old one also broke during use, causing delays in snow removal.

UAMPS Award – Clark Crook - Ty updated the Council regarding the UAMPS annual meeting and the upcoming recognition of Clark Crook – UAMPS Employee of the Year.

CMT Technical Services Agreement – Commercial Street Roadway Investigation – Ty updated the Council regarding the CMT Technical Service Agreement the City had entered into which would assess the road conditions before starting the Commercial Street improvements project in the spring. The need for improvements on Commercial Street was explained, specifically mentioning the rough road and concerns about the existing infrastructure.

Preece Annexation – Certificate Received from Lt. Governor's Office – Ty informed the Council that Preece annexation had been reviewed by the Lieutenant Governor's office and had been approved.

Train Depot – Ty updated the Council on the progress that had been made on the Train Depot project. He said the Historic Society expected to move in by the first of the year. He mentioned there would be a new sign for the Depot.

Union Pacific Easement – Ty stated he had been in contact with Union Pacific regarding an easement for the train viewing park.

Historic District Plaques – Ty stated the plaques for building along Commercial Street in the Historic District had been completed. The Mayor had made efforts to discuss placing plaques on buildings with owners. He stated the Historic District was a third-party non-profit group consisting of business owners on Commercial Street, Cheryl Gross and a couple others in an effort to help out with the Downtown Historic District and they had been great to work with. The Mayor and/or Ty attend their meetings.

Hometown Christmas – Discussed earlier in Council Report.

Downtown Area Plan – Ty said progress had been made on the Downtown Area Plan, involving background research, economic surveys, and stakeholder committee invitations had been sent out. Collaboration with CitiDesign had occurred, and meetings were scheduled on Wednesdays at 2 o'clock. Wasatch Front Regional Council was doing research regarding parks and trails. Emphasis was placed on the importance of having a plan for trails to be eligible for state trail grants. Jake mentioned this was a long-term vision and in order to be awarded a grant the City needed to have a plan and land in place.

Vehicles – Ty stated two new trucks had been acquired, and two old trucks (2019 models) would be put up for sale. Details about the trucks, including make, model, and year, were provided.

Ty also stated that everything which was posted on the public website sold and the other items went to the Council as surplus.

This meeting was adjourned at 8:08 p.m.

Denise Woods, City Recorder

Steve Gale, Mayor

These minutes were approved at the February 13, 2024 meeting.

DRAFT

MINUTES OF MORGAN CITY COUNCIL MEETING

JANUARY 9, 2024; 7:00 P.M.

MAYOR AND COUNCILMEMBERS PRESENT:

Mayor Steve Gale, Tony London, Eric Turner, Jeffery Richins, and Dave Alexander

STAFF PRESENT IN-PERSON:

Ty Bailey, City Manager; Gary Crane, City Attorney; Clark Crook, Power Foreman; and Denise Woods, City Recorder

EXCUSED:

Jeff Wardell

OTHERS PRESENT:

Marcus Blackburn, Innovative Structural Solutions

This meeting was held in the Council Conference Room of the Morgan City Offices, 90 West Young Street, Morgan, Utah. The meeting was streamed live on YouTube and available for viewing on the City's website – morgancityut.org.

This meeting was called to order by Mayor Steve Gale.

The pledge of allegiance was led by Councilmember Turner.

The opening ceremony was presented by Councilmember Alexander.

APPROVAL OF MEETING AGENDA

MOTION: Councilmember Turner moved to approve the agenda

SECOND: Councilmember London

Vote was 4 ayes; Motion passed unanimously to approve the agenda; Councilmember Wardell was absent.

MINUTES AND WARRANTS

MOTION: Councilmember London moved to approve the following:
Warrants (12/08/2023 – 01/05/2024)

SECOND: Councilmember Turner

Vote was 4 ayes; The motion passed unanimously to approve one set of warrants; Councilmember Wardell was absent.

DRAFT

CITIZEN COMMENTS

No citizen comments.

VERBAL PRESENTATION

Councilmember Alexander played the presentation for the Council of the UAMPS meeting where Clark Crook was awarded the 2023 UAMPS Employee of the Year Award. During the presentation a letter of nomination from the City was read.

Mayor congratulated Clark on receiving the award and expressed appreciation for all had done for the City.

ACTIVE AGENDA

RESOLUTION APPOINTING A MORGAN CITY REPRESENTATIVE TO THE ADMINISTRATIVE CONTROL BOARD FOR THE WASATCH INTEGRATED WASTE MANAGEMENT DISTRICT – RESOLUTION 24-01

Mayor proposed that Councilmember London continue as the representative to the Administrative Control Board for the Wasatch Integrated Waste Management District.

Councilmember London expressed appreciation for the Council's support on this matter. He explained he had been on the Board for quite some time and had familiarized himself with various aspects during his tenure. He said it was indeed a valuable experience where he had the opportunity to network and learn extensively about waste management.

Councilmember London mentioned the upcoming initiative. He explained there's a likelihood of a requirement for a blue recycling can at every residence in both the City and the County. He stated this potential change was expected to be implemented in the next year or year and a half. He said he would keep the Council informed as developments unfold, ensuring that the City stay updated.

Denise Woods, City Recorder, explained Councilmember London's term on the Board had expired and the renewal process was to occur every four years. She stated this resolution ratified Councilmember London's term beginning from his last appointment's end date, which was January 1, 2019, and appointment to the Board will now expire on December 31, 2028.

MOTION: Councilmember Turner moved to adopt Resolution 24-01 – A resolution Appointing a Morgan City Representative, Tony London, to the Administrative Control Board for the Wasatch Integrated Waste Management District.

SECOND: Councilmember Richins

Discussion on the Motion: None

Vote was 4 ayes; Motion passed unanimously to adopt Resolution 24-01 – A resolution appointing a Morgan City representative, Tony London, to the Administrative Control Board for the Wasatch Integrated Waste Management District; Councilmember Wardell was absent.

DRAFT

RESOLUTION APPOINTING INDIVIDUALS TO THE PLANNING COMMISSION AND RECEIVING ADVICE AND CONSENT OF THE CITY COUNCIL – RESOLUTION 24-02

Mayor presented Erin Bott, Lance Prescott, and Ray Little as Planning Commission members, each for a 4-year term. He stated he had spoken to each of them and acknowledged that they were all willing to continue their service on the Planning Commission.

Councilmember London stated they had done an excellent job in the past and were highly engaged and contributed to the Planning Commission effectively.

MOTION: Councilmember London moved to adopt Resolution 24-02 – A resolution appointing individuals to the Planning Commission and receiving advice and consent of the City Council; those individuals being Lance Prescott and Erin Bott as members for a 4-yr term, and Ray Little as an alternate member, each for a 4-year term which expired January 1, 2028.

SECOND: Councilmember Turner

Discussion on the Motion: No discussion.

Vote was 4 ayes; Motion passed unanimously to adopt Resolution 24-02 – A resolution appointing individuals to the Planning Commission and receiving advice and consent of the City Council; those individuals being Lance Prescott and Erin Bott as members, and Ray Little as an alternate member, each for a 4-year term which expired January 1, 2028; Councilmember Wardell was absent.

RESOLUTION AUTHORIZING THE CITY OF MORGAN TO DISPOSE OF AN INSIGNIFICANT PARCEL OF PROPERTY, AS DEFINED BY CITY CODE, LOCATED AT APPROXIMATELY 400 EAST STREET, MORGAN, UTAH – RESOLUTION 24-03

Ty updated the Council regarding the development of Innovative Structural Solutions. A map was displayed for the Council viewing. He stated the collaboration between the City and the Company involved the dedication of a small sliver of property back to the Company, aimed at clearing up boundaries. A retaining wall was being constructed to address elevation issues and facilitate road development. The Company had made necessary improvements to meet City requirements, allowing them to build closer to the street.

MOTION: Councilmember Turner moved to adopt Resolution 24-03 – A resolution authorizing the City of Morgan to dispose of an insignificant parcel of property, as defined by City Code, located at approximately 400 East Street, Morgan, Utah; Authorizing the Mayor to execute the Deeds and other necessary documents.

SECOND: Councilmember Richins

Discussion on the Motion: None

Vote was 4 ayes; Motion passed unanimously to adopt Resolution 24-03 – A resolution authorizing the City of Morgan to dispose of an insignificant parcel of property, as defined by City Code, located at approximately 400 East Street, Morgan, Utah; Authorizing the Mayor to execute the Deeds and other necessary documents; Councilmember Wardell was absent.

DRAFT

CITY REPORTS

CITY MANAGER

Spring Road Project – Ty provided an update, stating that a spring road project with five different components was underway. He emphasized the need for attention to various issues. He mentioned that the projects are open for bidding to secure favorable pricing before increased demand. He said the projects included:

- Deer Valley Run needs significant work, involving new curb, gutter, sidewalk, leveling course, and overlay to address settling issues and improve the sidewalk.
- Another project focuses on the east side of 100 South, addressing stormwater problems and elevation issues caused by steep driveways. Proposed solution involved reshaping, transitioning, and widening the sidewalk.
- Commercial Street Hill, with multiple layers of asphalt causing a rough surface, is slated for demolition and rebuilding. Cord drilling and studying the area have been done to understand its composition better.
- A missing sidewalk section near the cemetery on 700 East north side is also part of the spring projects.

Ty explained that these projects, funded by a bond, amount to approximately \$1 Million Dollars in road improvements. He mentioned plans for a new hire in the Road Department to support ongoing projects, as they've been short-staffed since the departure of the last helper.

Surplus Committee Update – Ty updated the Council regarding the sale of two Ram 3500 trucks and an old stage.

Sewer Tolerance Agreement – Ty reported that the State DEQ underwent an audit and was supposed to have been issuing fines since 2019 for each of their violations. He explained that the violations primarily stemmed from the reconstruction of sewer ponds, which were temporarily offline, and the subsequent efforts to balance the system. Ty mentioned a failure to report and a Tolling Agreement, indicating that the DEQ would be issuing fines for past years. Despite this, Ty emphasized that they were documenting the money invested in their system to offset the fines instead of paying them directly. Ty noted that they were aware of the issues, actively addressing them, and had invested half a million dollars in the solution. He acknowledged uncertainty about the fine amounts but assured that the City had responded to each finding. Ty anticipated presenting the situation to the Council once the agreement was in place.

Regarding future fines and violations, Ty addressed concerns about the DEQ being more adamant about issuing fines rather than warnings. He expressed confidence in their improvements, particularly with the diffuser project, and stated that they didn't expect the same problems that led to the current situation. Ty highlighted the progress made in complying with permits, stating that the situation was the best it had been since he was employed by the City.

Morgan City Welcome Video – Ty explained the grant the City received for the Historic District included funds for video production of the initial version of a video for the City's website, specifically a welcome video visible upon entering the site. The company planned to create additional videos for different seasons, such as spring, summer, and fall. Ty shared the first video to gather feedback and comments from the Council. He explained the Planning Commission was the advisory board for the Historic District. He played the video for the Council's review.

DRAFT

OutiFi – Public Notification App – Ty discussed a recently signed contract with a startup company developing an app which focused on public notification and internal communication for reporting and addressing outages. Ty explained that the app allowed users to report outages or receive notifications about upcoming outages. He highlighted the map-based feature, utilizing contact information to pinpoint affected areas.

Ty mentioned the company's initial focus was on power outage notifications, but after meeting with them, he convinced them to include water and sewer notifications as well. The app would send targeted messages to specific groups to avoid unnecessary notifications for everyone. Ty outlined how the app would streamline communication during outages, including providing status updates and handling inquiries from the public. He emphasized the app's interface for daily use and its ability to send important information directly to the Mayor and Council. Ty expressed satisfaction with the company's responsiveness to feedback, mentioning test drives and adjustments based on utility staff's input. He anticipated having the contract finalized in the next meeting and possibly a demo of the app shortly after. Ty looked forward to providing more details during the next meeting and characterized the project as a fun and exciting endeavor.

This meeting was adjourned at 7:49 p.m.

Denise Woods, City Recorder

Steve Gale, Mayor

These minutes were approved at the February 13, 2024 meeting.

Utah's Centers for Independent Living



1

We are here
to promote
and enhance
independence
for all people
with
disabilities

We work with all ages and all types of disabilities.

- short term disability
- seniors
- family members of a person with a disability.

There is no cost for our services

2

The core services provided by Roads To Independence

- Information and referral
 - Independent living skills training
 - Peer support
 - Advocacy
 - Transition
- *Nursing home Transition *Youth Transition *Diversion

3

We have a great recreational program
at Roads To Independence



Some of our activities include

- Bowling
- Bingo
- Skiing
- camping
- Biking
- painting
- Basketball
- movie nights
- ceramics

4

Assistive Technology



5

Traumatic Brain injury services

6

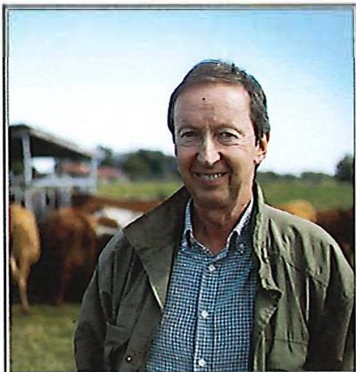
New Choices Waiver

- The New Choices Waiver Program is designed to serve individuals who are residing long term in a nursing facility, licensed assisted living facility, licensed small health care (Type N) facility or another type of Utah licensed medical institution (except institutions for mental disease).
- The Program offers an option for these individuals to move into integrated community-based settings if they wish to do so and if their needs can be safely met in the setting that they have chosen.



7

AgrAbility



What is AgrAbility?

AgrAbility is part of a national program designed to help farmers, ranchers and their family members remain in agriculture when facing limitations due to aging, disease, injury, illness, or other disability. Conditions may include:

Arthritis
 Back injury
 Chronic pain
 Heart conditions
 Hearing or Visual impairments
 Respiratory diseases
 Spinal cord injury
 Post-polio syndrome
 Amputations
 Traumatic brain injury
 And more

•AgrAbility of Utah is a partnership between Utah State University Extension and Roads To Independence. AgrAbility works closely with Vocational Rehabilitation and other agencies to secure funding for necessary accommodations.

8

Pre-Employment Transition Services

Pre-ETS

We are here to serve youth with disabilities to transition into successful independent living

It is the answer to the question. What's next?

Areas that we serve are Weber Morgan and Davis county.

9

Pre-ETS
provides youth
with the tools
and skills they
need to gain
independence



10

You can
expect a team
of
compassionate
instructors
who work
hard to help
youth succeed

- Our team has prepared a curriculum that will help the students gain knowledge through multiple courses taught over 8 weeks, either in the classroom or through virtual learning platforms.

11



These courses include

- Self Advocacy
- Job exploration
- Workplace readiness
- Counseling on post secondary education programs
- Work based learning experiences

12

While working
with us
students will
be assigned an
independent
living specialist
from roads to
independence.



An Independent Living Specialist will establish a plan that will help the students to become more independent



Set personal goals to meet the needs of the student



Connect students with resources and assistance in the community



We will follow up on goals that were set and will work towards new goals when needed.



We will also continue to serve the youth once Pre-ETS program has completed to ensure an easy transition.

13

“

We are here to bridge the gap

Many Parents wonder how they can better support their youth
when transitioning out of high school and post high.

”

Our Pre-ETS program is here to support youth with disabilities

Roads To Independence is here to give them the ability and opportunity to live independently,
prepare for the workforce and learn to better self advocate

14

You can reach us at Roads To Independence.
3355 Washington Boulevard, Ogden Utah 84401
PH: 801-612-3215
Or visit us on our website at
RoadstoIndependence.org



With questions regarding our youth or Pre-ETS services.
You can contact our Youth coordinator
Amanda Willard at 801-317-2858
Email at amanda@roadstoind.org

RESOLUTION 24-04

A RESOLUTION ACCEPTING QUIT CLAIM DEEDS TO MORGAN CITY FROM ANN W. WARDELL AND THE BOARD OF EDUCATION MORGAN COUNTY SCHOOL DISTRICT FOR THE INSTALLATION OF A SEWER LIFT STATION TO BE INSTALLED ON PROPERTY ALONG THE SOUTH SIDE OF YOUNG STREET EAST OF MORGAN ELEMENTARY SCHOOL.

WHEREAS, in anticipation of future development along Young Street, Morgan City has begun the process of designing and acquiring the necessary property for a sewer lift station to be installed along the south side of Young Street and east of Morgan Elementary School; and

WHEREAS, Ann W. Wardell (hereinafter referred to as "Wardell") owns real property located at approximately 446 East Young Street, Morgan, Utah; and

WHEREAS, the Board of Education Morgan County School District (hereinafter referred to as "School District") owns real property located at approximately 344 East Young Street, Morgan, Utah; and

WHEREAS, Wardell and the School District desire to deed to the City the necessary property for the installation of the sewer lift station; and

WHEREAS, the City will install the sewer lift station, as shown on the Record of Survey – Morgan City and Board of Education M.C.S.D. Property, attached hereto as Exhibit "A," when necessary and shall enter into a Payback Agreement with future developer(s) to cover their proportionate share of the cost of the sewer lift station; and

WHEREAS, the City Council of Morgan City has determined it to be in the best interest of the City to adopt and approve the Quit Claim Deeds from Ann W. Wardell and the Board of Education Morgan County School District for property necessary for the installation of a sewer lift station to be located on the south side of Young Street east of Morgan Elementary School.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF MORGAN, UTAH:

1. That the Quit Claim Deed between Ann W. Wardell and Morgan City, which is attached hereto and incorporated herein by this reference as Exhibit "B," be adopted and approved.
2. That the Quit Claim Deed between the Board of Education Morgan County School District and Morgan City, which is attached hereto and incorporated herein by this reference as Exhibit "C," be adopted and approved.
3. That the City shall install the sewer lift station, as shown on the Record of Survey – Morgan City and Board of Education M.C.S.D Property, attached hereto and incorporated herein by this reference as Exhibit "A," when necessary and shall enter into a Payback Agreement with future developers to cover their proportionate share of the cost of the lift station.
4. That the Payback Agreement between the City and future developer(s) be presented to the City Council for approval as future development is reviewed and approved by City staff and the Planning Commission.
5. That the Mayor be authorized to sign the acceptance of the Quit Claim Deeds from Ann W. Wardell and the Board of Education Morgan County School District on behalf of Morgan City.

PASSED AND ADOPTED by the City Council of Morgan, Utah, this 13th day of February, 2024.

STEVE GALE, Mayor

ATTEST:

DENISE WOODS, City Recorder

CITY COUNCIL VOTE AS RECORDED:

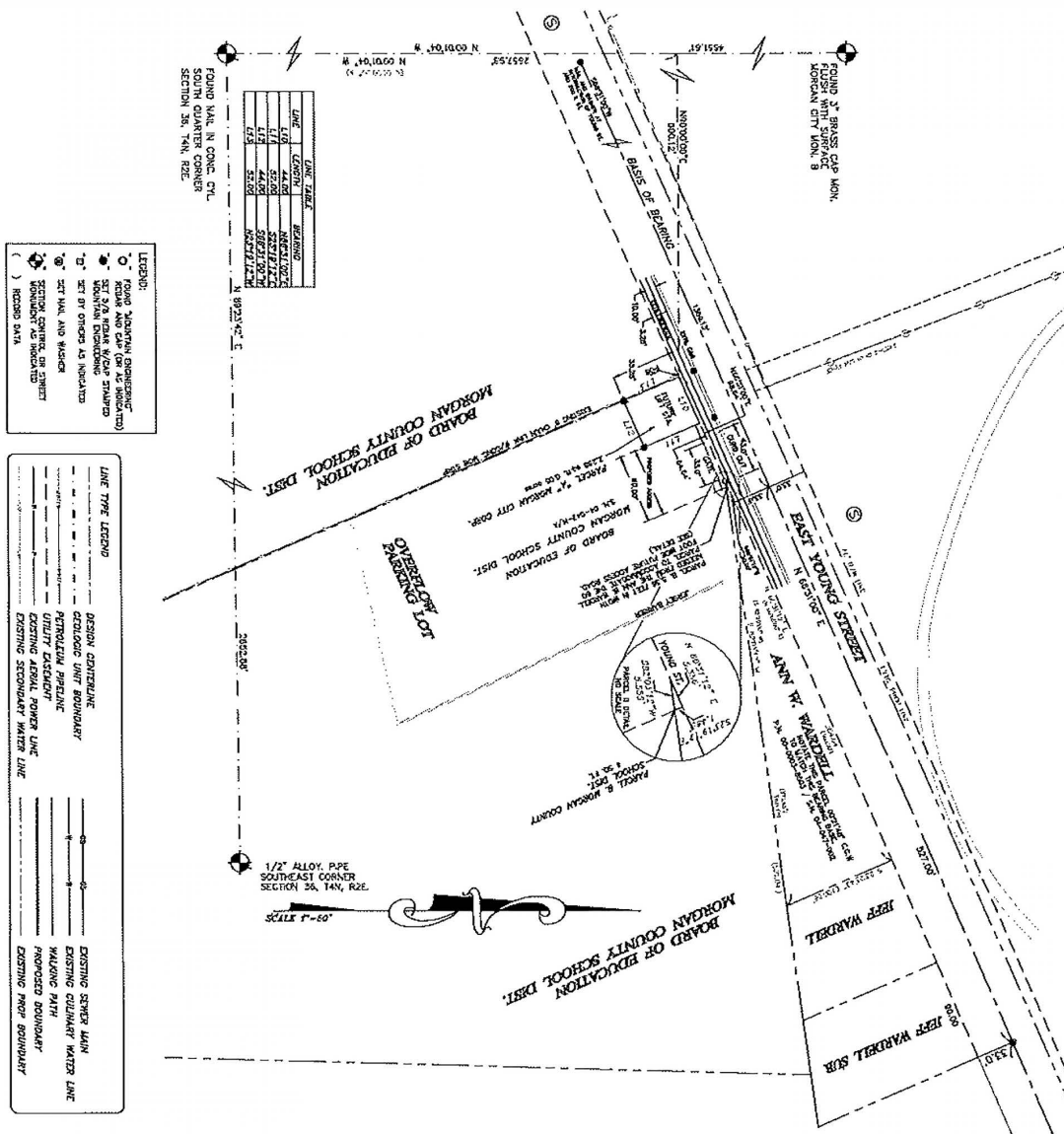
	Aye	Nay	Excused
Councilmember London	_____	_____	_____
Councilmember Wardell	_____	_____	_____
Councilmember Turner	_____	_____	_____
Councilmember Richins	_____	_____	_____
Councilmember Alexander	_____	_____	_____

(In the event of a tie vote of the Council):

Mayor Gale	_____	_____
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RECORD OF SURVEY MORGAN CITY AND BOARD OF EDUCATION M.C.S.D. PROPERTY A PART OF THE EAST HALF OF SECTION 36 14N, R2E, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, MORGAN CITY, MORGAN COUNTY, UTAH.

EXHIBIT "A"



BOUNDARY DESCRIPTION - LEFT STATION PARCEL, "A"

A TRACT OF LAND SITUATED IN THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 4 NORTH, RANGE 2 EAST, SALT LAKE BASE, AND MORGAN CITY, SALT LAKE COUNTY, UTAH, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 36 AS UNLOCATED BY A NAIL IN THE TOP OF A CONCRETE CURBSTONE WHICH BEARING SOUTH 89° 12' 00" EAST 44.00 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 36 AS UNLOCATED BY A NAIL IN THE TOP OF A CONCRETE CURBSTONE WHICH BEARING SOUTH 89° 12' 00" WEST 44.00 FEET TO THE POINT OF BEGINNING.

THENCE NORTH 89° 12' 00" EAST 44.00 FEET ALONG SAID SOUTH LINE OF YOUNG STREET, THENCE SOUTH 89° 12' 00" WEST 44.00 FEET, THENCE NORTH 89° 12' 00" WEST 44.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 2.000 AC. ±, 0.00 AC. ±.

THE BASE OF RECLAMING IS THE CONTINUE OF EAST YOUNG STREET CALLED NORTH 89° 12' 00" EAST.

BOUNDARY DESCRIPTION - WARDEN, PARCEL, "B"

A TRACT OF LAND SITUATED IN THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 4 NORTH, RANGE 2 EAST, SALT LAKE BASE, AND MORGAN CITY, SALT LAKE COUNTY, UTAH, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 36 AS UNLOCATED BY A NAIL IN THE TOP OF A CONCRETE CURBSTONE WHICH BEARING SOUTH 89° 12' 00" EAST 44.00 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 36 AS UNLOCATED BY A NAIL IN THE TOP OF A CONCRETE CURBSTONE WHICH BEARING SOUTH 89° 12' 00" WEST 44.00 FEET TO THE POINT OF BEGINNING.

THENCE NORTH 89° 12' 00" EAST 44.00 FEET ALONG SAID SOUTH LINE OF YOUNG STREET, THENCE SOUTH 89° 12' 00" WEST 44.00 FEET, THENCE NORTH 89° 12' 00" WEST 44.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 2.000 AC. ±, 0.00 AC. ±.

THE BASE OF RECLAMING IS THE CONTINUE OF EAST YOUNG STREET CALLED NORTH 89° 12' 00" EAST.

SURVEY NARRATIVE:

THIS SURVEY WAS PERFORMED AND THIS PLAT PREPARED IN THE COUNTY OF SALT LAKE, UTAH, BY JESS W. HORTON, A LICENSED LAND SURVEYOR, IN ACCORDANCE WITH THE PROVISIONS OF THE UTAH LAND SURVEY ACT, AND BY AUTHORITY OF THE SALT LAKE COUNTY BOARD OF LAND SURVEYORS, WHOSE OFFICE IS IN THE CITY OF SALT LAKE, UTAH. THE PURPOSE OF THIS SURVEY AND PLAT THEREIN IS TO SET APART A TRACT OF LAND TO BE USED FOR PUBLIC PURPOSES, AND TO DEFINE AND DECIDE A TRACT IN ORDER TO MAINTAIN AN ACCURATE SURVEY, IN ORDER TO SUPPORT ANY RECOMMENDATIONS DUE TO PUBLIC UTILITY USAGE, PARCEL B IS BEING ADJACENT IN ACCORD WITH STATE RECOMMENDATIONS FOR PARCEL BOUNDARY ADJUSTMENTS.

ALL MONUMENTS FOUND OR SET ARE AS INDICATED HEREON.

THE BASE OF BEARING IS THE CONTINUE OF EAST YOUNG STREET CALLED NORTH 89° 12' 00" EAST AS UNLOCATED AND SHOWN HEREON.

EXAMINERS MAY EXAMINE THIS PLAT, IT IS NOT THE INTENT OF THIS SURVEY TO EXCLUDE ALL OR ANY CONDITIONS WHICH MAY OCCUR IN THE FUTURE.

ALL MONUMENTS AND EASEMENTS DISCLOSED ARE SHOWN FOR INFORMATION PURPOSES ONLY, NO CERTIFICATION IS HEREBY MADE AS TO THE ACCURACY OF SAID INFORMATION.

CERTIFICATE OF SURVEYOR

SIGNED THIS _____ DAY OF _____

UTAH LAND SURVEYOR REGISTRATION NO. 4253 W. HORTON, P.L.S.



RECORD OF SURVEY

MORGAN CITY CORP., 52 & YOUNG STREET, MORGAN, UTAH 84050

2010

DATE: 10/10/10
BY: JESS W. HORTON
TITLE: SURVEYOR

NO.	DATE	BY	REMARKS
1	10/10/10	JESS W. HORTON	ORIGINAL SURVEY
2			
3			
4			
5			

MOUNTAIN ENGINEERING
2250 W OLD HIGHWAY ROAD
MORGAN, UTAH 84050
TEL (801) 791-6278
mountainengineering.com

EXHIBIT "B"

Mail filed copy to:

Morgan City
90 West Young Street
Morgan, Utah 84050

QUIT-CLAIM DEED

ANN W. WARDELL, GRANTOR(S), of 446 East Young Street, Morgan, County of Morgan, State of Utah, hereby **QUIT-CLAIM** to **MORGAN CITY CORPORATION**, GRANTEE(S), of 90 West Young Street, Morgan, County of Morgan, State of Utah, for the sum of Ten Dollars (\$10.00) and/or other valuable consideration, the following described tract of land in Morgan County, State of Utah:

Any interest in the following described property:

A TRACT OF LAND SITUATED IN THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 4 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, MORGAN COUNTY, MORGAN CITY, UTAH, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 36 AS MONUMENTED BY A NAIL IN THE TOP OF A CONCRETE CYLINDER WHICH BEARS SOUTH 00°01' 04"EAST 4661.61 FEET FROM MORGAN CITY SURVEY MONUMENT B. THENCE NORTH 00°01'04" WEST 2657.98 FEET;
THENCE NORTH 90°00'00" EAST 500.12 FEET TO SOUTH LINE OF YOUNG STREET;
THENCE NORTH 66°31'00" EAST 98.64 FEET ALONG SAID SOUTH LINE OF YOUNG STREET, TO THE SOUTHWESTERLY TIP OF THE TRIANGULAR TRACT OF LAND HAVING ENTRY NUMBER 51096, PARCEL NUMBER 00-0003-8503, AND SERIAL NUMBER 04-047-002, OF MORGAN COUNTY RECORDS AND BEING THE TRUE POINT OF BEGINNING;

THENCE NORTH 66°31'12" EAST 5.356 FEET ALONG SAID SOUTH LINE OF YOUNG STREET;
THENCE SOUTH 23°19'12" EAST 1.488 FEET;
THENCE SOUTH 82°03'12" WEST 5.555 FEET TO THE POINT OF BEGINNING;

CONTAINING 4 SQUARE FEET.

THE BASIS OF BEARING IS THE CENTERLINE OF EAST YOUNG STREET CALLED NORTH 66°31'00" EAST.

PARCEL NO(S). 00-0003-8503
SERIAL NO(S). 04-047-002

WITNESS the hand of said Grantor(s), this _____ day of _____, 2024.

GRANTOR(S)

ANN W. WARDELL

STATE OF UTAH)
 : ss.
COUNTY OF MORGAN)

On the _____ day of _____, 2024, personally appeared before me
ANN W. WARDELL, the signer(s) of the foregoing instrument, who duly acknowledged to me
that she executed the same.

NOTARY PUBLIC

EXHIBIT "C"

Mail filed copy to:

Morgan City Corporation
90 West Young Street
Morgan, Utah 84050

QUIT-CLAIM DEED

MORGAN COUNTY SCHOOL DISTRICT, GRANTOR(S), 240 East Young Street, Morgan, County of Morgan, State of Utah, hereby **QUIT-CLAIM** to **MORGAN CITY CORPORATION**, GRANTEE(S), of 90 West Young Street, Morgan, County of Morgan, State of Utah, for the sum of Ten Dollars (\$10.00) and/or other valuable consideration, the following described tract of land in Morgan County, State of Utah:

Any interest in the following described property:

A TRACT OF LAND SITUATED IN THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 4 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, MORGAN COUNTY, MORGAN CITY, UTAH, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 36 AS MONUMENTED BY A NAIL IN THE TOP OF A CONCRETE CYLINDER WHICH BEARS SOUTH 00°01'04" EAST 4661.61 FEET FROM MORGAN CITY SURVEY MONUMENT B. THENCE NORTH 00°01'04" WEST 2657.98 FEET;
THENCE NORTH 90°00'00" EAST 500.12 FEET TO SOUTH LINE OF YOUNG STREET, THE TRUE POINT OF BEGINNING;

THENCE NORTH 66°31'00" EAST 44.00 FEET ALONG SAID SOUTH LINE OF YOUNG STREET;
THENCE SOUTH 23°19'12" EAST 52.00 FEET;
THENCE SOUTH 66°31'12" WEST 44.00 FEET;
THENCE NORTH 23°19'12" WEST 52.00 FEET TO THE POINT OF BEGINNING;

CONTAINING 2,288 sq.ft. 0.05 acres.

THE BASIS OF BEARING IS THE CENTERLINE OF EAST YOUNG STREET CALLED NORTH 66°31'00" EAST.

PARCEL NO(S): 00-0003-8263

SERIAL NO(S): 04-042-N/A

WITNESS the hand of said Grantor(s), this _____ day of _____, 2024.

GRANTOR(S)

SCOTT MCMILLAN
Business Administrator
Board of Education, Morgan County
School District

STATE OF UTAH)
 : ss.
COUNTY OF MORGAN)

On the _____ day of _____, 2024, before me, the undersigned Notary Public in and for the State, personally appeared SCOTT MCMILLAN, BUSINESS ADMINISTRATOR, BOARD OF EDUCATION, MORGAN COUNTY SCHOOL DISTRICT, known or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereto set my hand and affixed my official seal the day and year in this certificate first above written.

NOTARY PUBLIC



TECHNICAL MEMORANDUM

To: Jamie Huff
By: Ben Rood
Tel: (801) 372-8112
Date: December 26, 2023
Project No. 238210011
Re: Morgan City Mitigation Planning Technical Assistance for the Weber River at State Street Bridge – Planning Technical Assistance for the Weber River at State Street Bridge, City of Morgan, UT

PROJECT BACKGROUND

The Weber River watershed consists of mountainous terrain that can produce very high flows during large rain, snowmelt, or rain-on-snow events. Multiple reservoirs, municipalities and agricultural areas are sourced from the river and regulate much of the watershed, but flood risk remains a serious hazard for many residential and commercial areas. The State Street Bridge (Bridge) is a critical crossing along the Weber River, connecting the north and south sides Morgan City. The current Flood Insurance Rate Maps (FIRM) went effective in 2017 (Figure 1). The current Federal Emergency Management Agency (FEMA) hydraulic model evaluates the flood risk and provides the basis for the current effective FIRM maps. The Bridge is located in a developed neighborhood, with several homes and commercial buildings within the effective 100-year floodplain and floodway. The bridge and the elevated banks on either side of the channel upstream of the bridge provide a pinch point that causes water levels to rise and spread out into town. The purpose of this study is to leverage the effective hydraulic model to evaluate alternatives that can be used to improve the hydraulic efficiency and capacity of the Bridge.

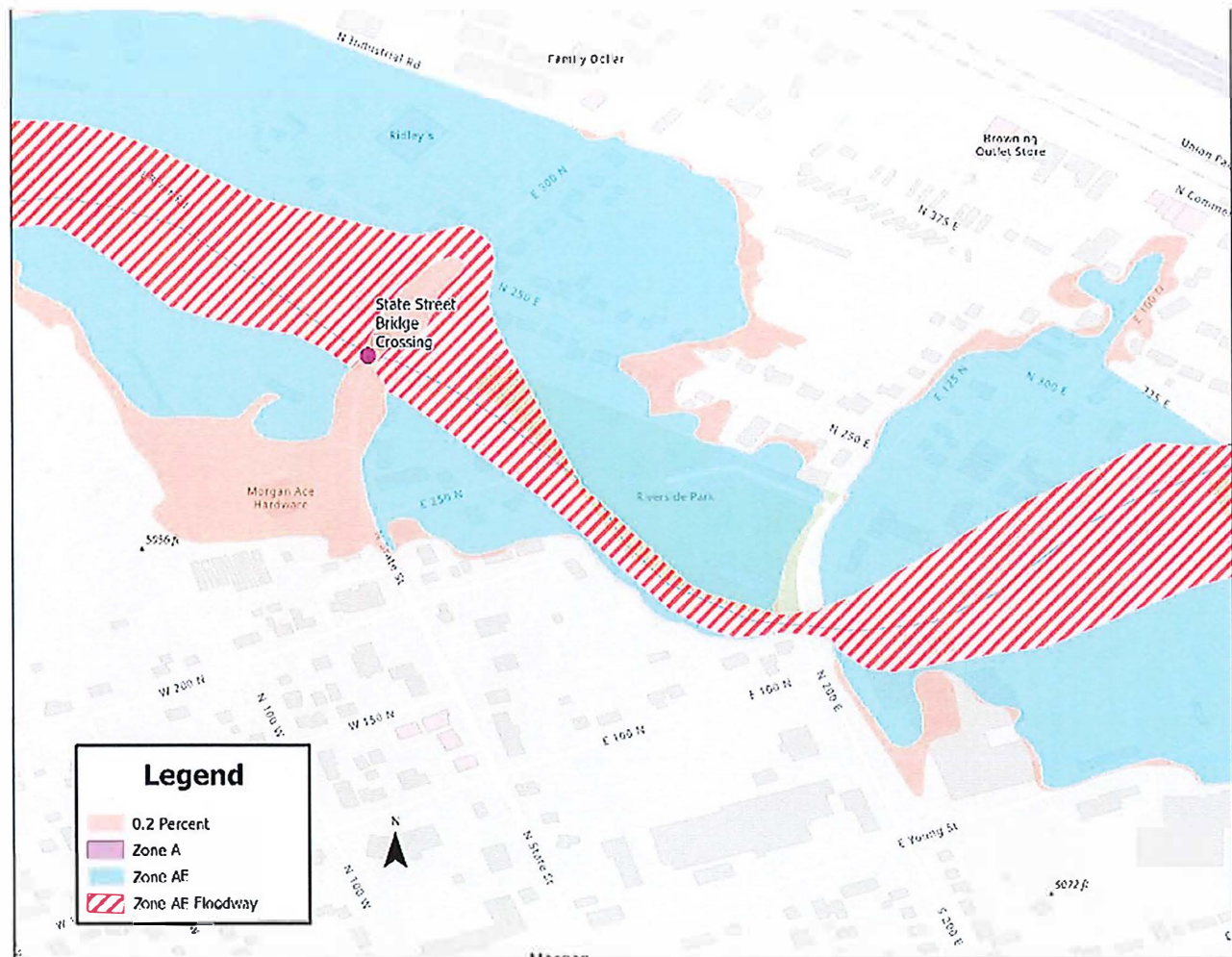


Figure 1. Effective Flood Insurance Rate Map

HYDROLOGY

EXISTING HYDROLOGY

The effective hydraulic model for the Weber River reach utilized the effective hydrology from the Flood Insurance Study report shown in Table 1 (FEMA, 2017). The initial hydrologic analysis was completed in 2010 and was not updated during the revisions in 2017. The Weber River at Gateway stream gage (10136500) was evaluated using the Bulletin 17b analysis method with a Log-Pearson Type III distribution. Gage data prior to 1967 was omitted from the analysis due to the hydrologic impact that the construction of East Canyon Reservoir has had on the downstream reach. The gage was then projected upstream to just above the confluence with East Canyon Creek. This projection location was then applied upstream within the effective hydraulic model. See Figure 2 for an overview of the reach and projection location. The gage at Echo Reservoir was evaluated, but not used for the gage projection calculations because it is highly regulated located just downstream of the release point for Echo Reservoir control structure.

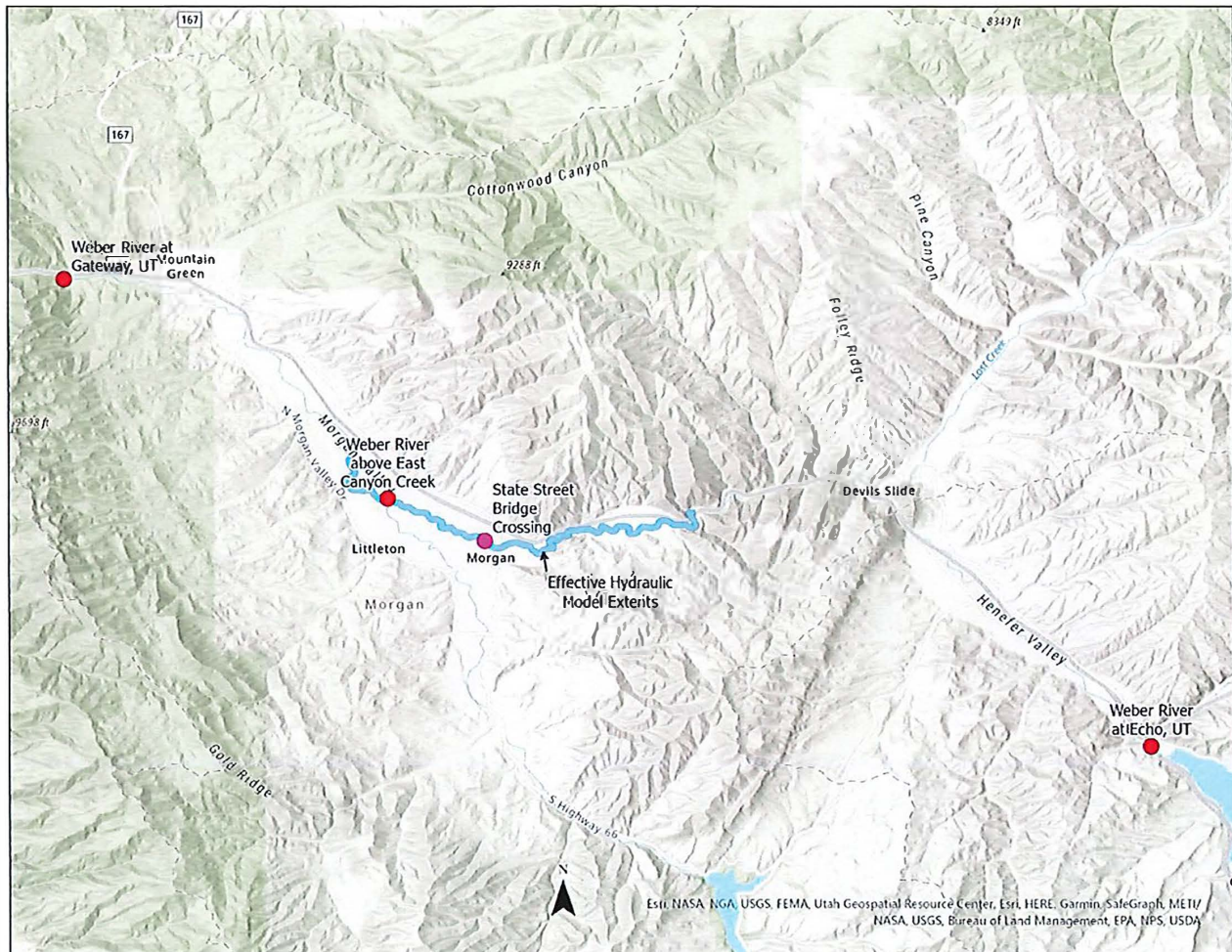


Figure 2 - Hydrology Overview Map

PROPOSED HYDROLOGY

The gage record of the Weber River at Gateway gage has increased by eleven years since the effective analysis was completed. Bulletin 17b has been replaced by Bulletin 17c as the currently accepted method by FEMA for performing gage frequency analysis. The proposed hydrology utilizes the updated Bulletin 17c methodology on the larger gage record while continuing to only use post-1967 peak flow records. The Weber River at the Gateway gage is highly regulated; therefore, station skew of -1.41 was used instead of regional skew values published by USGS (USGS, 2007). The station skew for post-1967 records is very close to the full record station skew of -1.31 for more than 100 years of record. The regional skew of -0.25 is much different, further justifying the use of the station skew.

The results of the proposed hydrology and the effective hydrology are shown in Table 1. The additional years of record resulted in peak flow rates that were relatively low (Figure 2), and Bulletin 17c tends to produce lower flow rates at high recurrence intervals (100-year, 500-year, etc.); therefore, it is reasonable that the flows have decreased between the two evaluations.



FEMA GUIDELINES

FEMA requires that the proposed hydrology be significantly different than the effective hydrologic study as stated in the Guidance for Flood Risk Analysis and Mapping- General Hydrologic Considerations:

“Plus or minus one standard error, which is equivalent to a 68% confidence interval, should be used to determine if the effective and new base flood discharges are significantly different. If the effective base flood discharges are within the 68% confidence interval (one standard error) of the new base flood discharges, the new estimates are not considered statistically different and there is no need for a new study based only on changes in the flood discharges. If the effective discharges fall outside the 68% confidence interval (one standard error) of the new discharges, the estimates are considered significantly different, and a new study may be warranted based on changes in the flood discharges.” (FEMA, 2016)

To evaluate whether the proposed analysis is statistically different, a 68% confidence interval was applied to the proposed Bulletin 17C analysis. As seen in Table 1, the 68% upper limit flow for the proposed analysis (7,243 cfs) is lower than the effective flow (7,665 cfs) at the Gateway gage, therefore the proposed 1% flow is statistically different than the effective 1% flow. This evaluation justifies the adoption of the proposed hydrology as the basis for the Morgan City Flood Mitigation Hydraulic model. The peak flow proposed for the State Street bridge analysis is 5156 cfs for the 1% annual chance flood event which represents a 22% reduction in the discharge value when compared with the effective FIS report.

Table 1 - Effective and Proposed Hydrology Comparison

HYDROLOGY COMPARISON	EFFECTIVE FIS HYDROLOGY 1% (CFS)	PROPOSED HYDROLOGY 1% (CFS)	PROPOSED 68% CONFIDENCE LIMIT	PERCENT DIFFERENCE
Weber River at Gateway Gage (10136500)	7665	6426	7243	-16%
Weber River Upstream of East Canyon Creek	6590	5156	5811	-22%

HYDRAULICS

The general process for obtaining a no-rise certification was followed for this analysis. This involved steps for producing duplicate effective, corrected effective, existing conditions, and proposed conditions models as stated in the Guidance for Flood Risk Analysis and Mapping – Floodway Analysis and Mapping (FEMA, 2021).

EFFECTIVE MODEL

The effective HEC-RAS model was downloaded from the FEMA Mapping Information Platform (MIP). No changes were made to the model in order for the results to be compared to those in the duplicate effective model.



DUPLICATE EFFECTIVE MODEL

The effective model was copied and updated to HEC-RAS version 6.4.1. After running the model, the water surface elevation (WSE) results were confirmed to be within 0.5 feet of the effective model. The model comparison is focused on the upstream and downstream reach of the Weber River directly adjacent to the State Street bridge. A full model comparison was not done because the proposed project only encompasses a small portion of the effective reach. It is anticipated that any changes at the State Street bridge structure will not have impacts outside of the reach evaluated as part of this effort.

CORRECTED EFFECTIVE MODEL

The corrected effective model is created by copying the duplicate effective model and updating the model based upon new data. Since the previous study was completed, more accurate LiDAR was made available by the State of Utah Geospatial Resource Center (UGRC). New survey was obtained by CRS Engineers at the State Street Bridge. This survey included points within the channel and important points along the bridge structure. The LiDAR terrain was clipped to the model extents and survey was used to develop more accurate bathymetry around the structure. The new bathymetry and LiDAR terrain was only applied to the four Bridge cross-sections (XS's) and one XS downstream of the bridge because there were significant differences between the two LiDAR terrains for these 5 XS's. The remaining XS's were left unchanged from the effective model. Ineffective flow areas were updated to better fit these changes to terrain.

The hydrology was updated to the proposed hydrology (Table 1) at the same flow change locations as the effective model. Therefore, the flow of 5156 cfs just upstream of the confluence with East Canyon Creek was applied at the start of the model reach near Round Valley Golf Course and continued downstream through the Bridge. Lastly, the Bridge survey was utilized to update the high chord, low chord and general bridge geometry.

EXISTING CONDITIONS MODEL

The existing conditions model was created using the corrected effective model and updating it for comparison purposes. The only change was the removal of closest XS upstream of the bridge and moving it to the other side of the next upstream XS as shown in Figure 3.

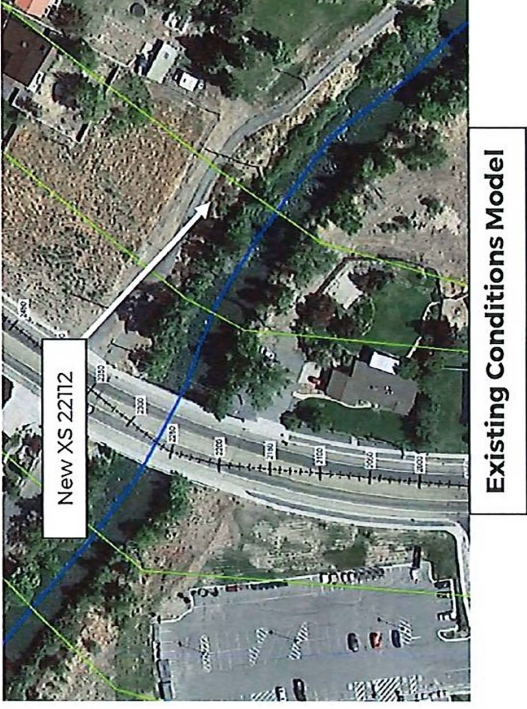
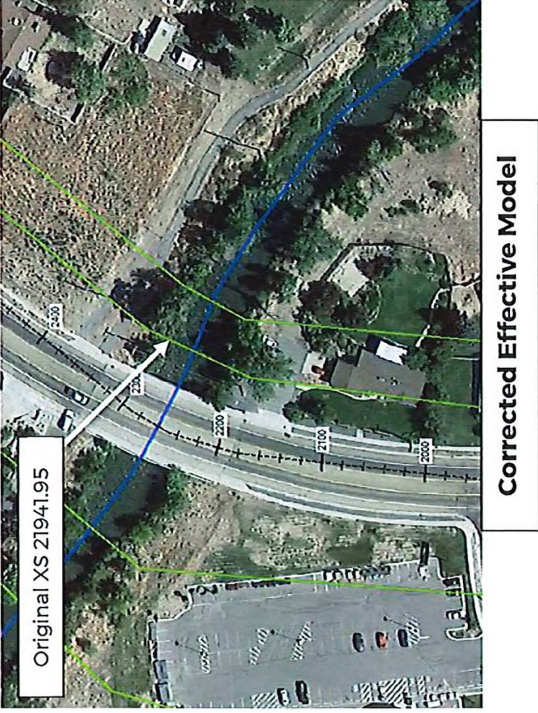


Figure 3 – Existing Conditions XS Adjustment

Table 2 - Hydraulic Model Water Surface Elevation (feet) Comparison

XS STATION	EFFECTIVE	DUPLICATE EFFECTIVE	CORRECTED DUPLICATE EFFECTIVE	EXISTING CONDITIONS	DUPLICATE EFFECTIVE VS. EFFECTIVE	CORRECTED EFFECTIVE VS. DUPLICATE EFFECTIVE	EXISTING CONDITION VS. CORRECTED EFFECTIVE
21223.36	5055.68	5055.68	5055.88	5055.88	0	0.2	0
21645.88	5057.69	5057.69	5058.24	5058.24	0	0.55	0
21745.8	5058.45	5058.45	5058.69	5058.67	0	0.24	-0.02
21941.95	5060.29	5060.29	5060.42	N/A ¹	0	0.13	
21992.29	5060.49	5060.50	5060.45	5060.34	0.01	-0.05	-0.11
22112	N/A	N/A	N/A	5060.6 ²	N/A	N/A	N/A
22621.34	5061.25	5061.25	5061.33	5061.29	0	0.08	-0.04

¹Cross-section removed from the model to match proposed condition hydraulics

²Cross-section added to model to match proposed conditions hydraulics



PROPOSED CONDITIONS MODELS

The proposed conditions models were created by copying the existing conditions model and adjusting for the proposed alternative. Additional edits such as adjusting ineffective flow areas were necessary based upon the change to WSE results and channel geometry. The changes to WSE are shown in and changes to floodplain shown in Attachments 2 and 3.

ALTERNATIVES ANALYSIS

1. **Vegetation Removal:** Removing vegetation along the banks and in the channel will result in a lower channel roughness value in the model. The channel is lined with bushes and trees that slow flows during large events (Figure 4). Lowering the channel roughness will lower the WSE by allowing water to move faster and more efficiently through the reach. In the effective and all subsequent models, the channel Mannings n roughness was set to 0.035 within the banks. For this alternative, the value was reduced to 0.03 for cross-section 22621 (approximately 760 ft upstream of bridge) to cross-section 21223 (approximately 640 ft downstream of bridge). A Mannings n of 0.03 was used to simulate a cleaned channel with dry rubble or riprap sides (Chow, 1959).

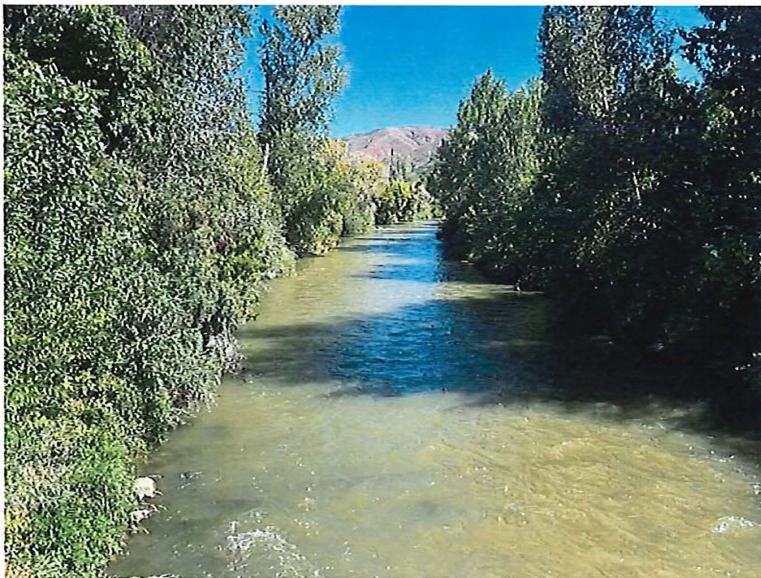


Figure 4 - Vegetated Banks Upstream of State Street Bridge

2. **Channel Modification:** A trapezoidal channel with cleared vegetation could convey water more efficiently through the Bridge. Keeping the thalweg the same as in the existing conditions model, a trapezoidal channel was cut across the 4 bridge XS's. The widths and slopes of the sides were adjusted to best fit the existing bathymetry, avoiding any impact to the banks. An example is shown in Figure 5.

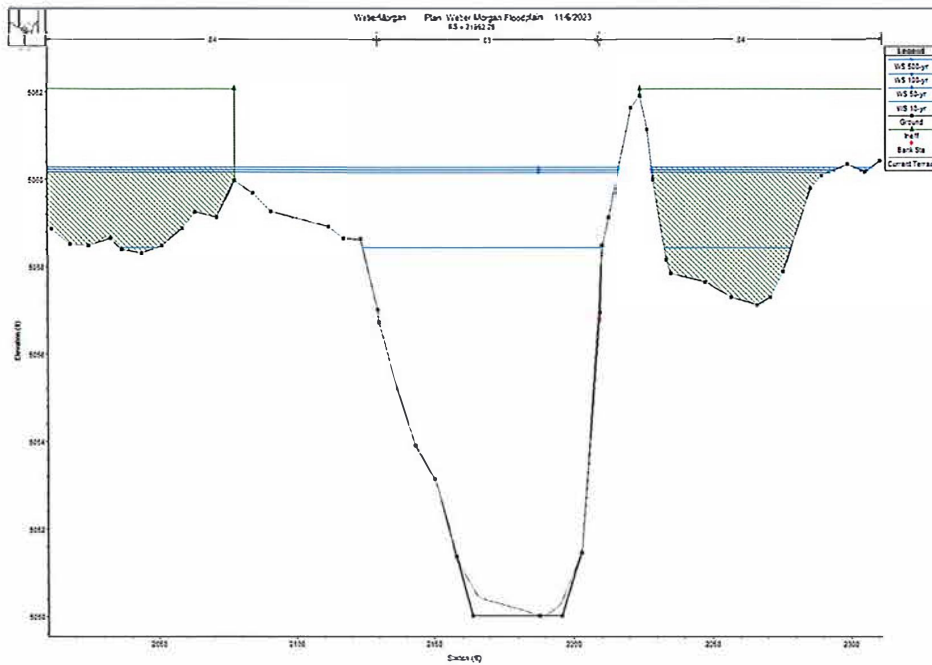


Figure 5 - Trapezoidal Channel Modification

3. **Box Culvert Crossing:** This alternative would use the already available depression in the terrain along the left bank, downstream of the Bridge. By placing a 6'x10' concrete box culvert along the left bank, upstream of the Bridge, flow would pass through and enter the ponded area downstream. The blue line in Figure 6 shows the general path that a culvert could utilize to convey water from the main channel to the pond. During the design phase, the exact volume and outlet works of the pond could be evaluated to further evaluate the impact to WSE and the floodway.

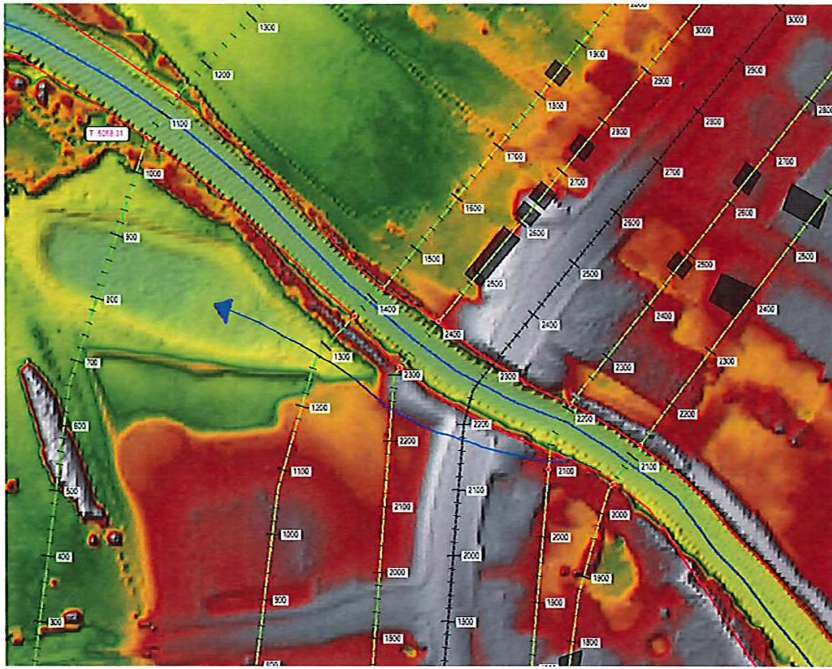


Figure 6 - Culvert Crossing Path

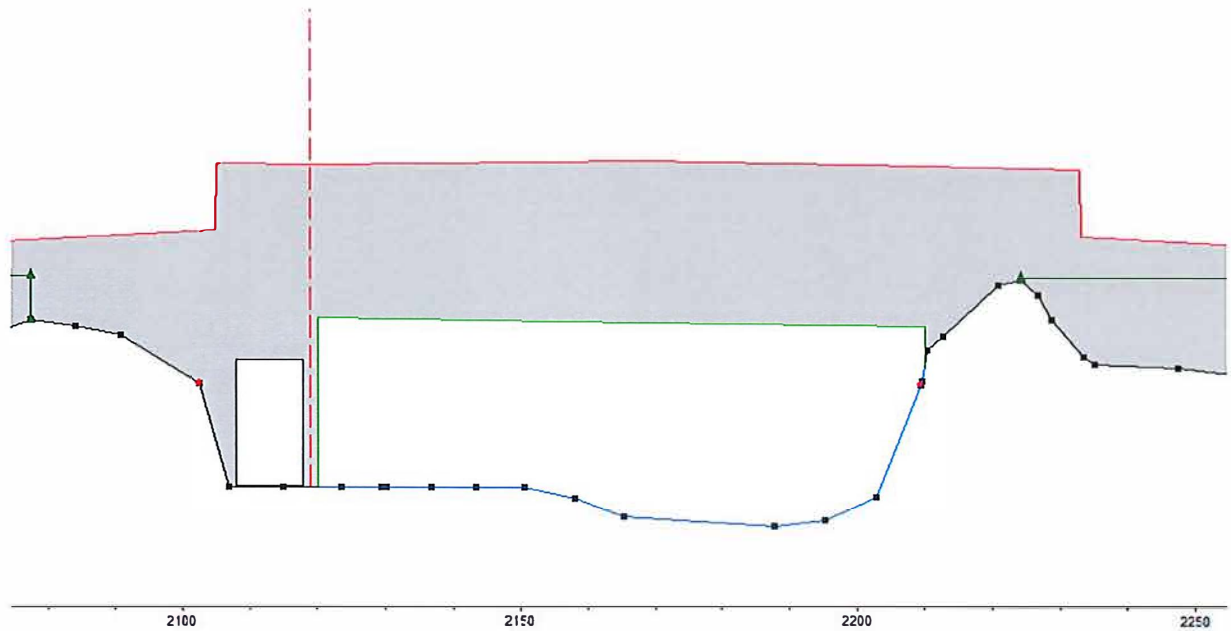


Figure 7 - State Street Bridge with Proposed Box Culvert Upstream Cross-Section

4. Enlarged Opening: The Bridge curves as it crosses the Weber River, therefore reconstruction to enlarge the opening would be difficult and very expensive. The most feasible solution would be to raise the low chord. It was assumed for this evaluation that the road deck and railing would remain unchanged, although the feasibility of this would need to be further evaluated during the design phase. The low chord was raised in increments of 0.5 feet until significant changes to WSE



could be observed. At 2 feet, similar WSE effects could be observed as in the other alternatives. A 2-foot rise in the low chord was estimated to be the largest feasible raise to the bridge, therefore no additional runs were evaluated.

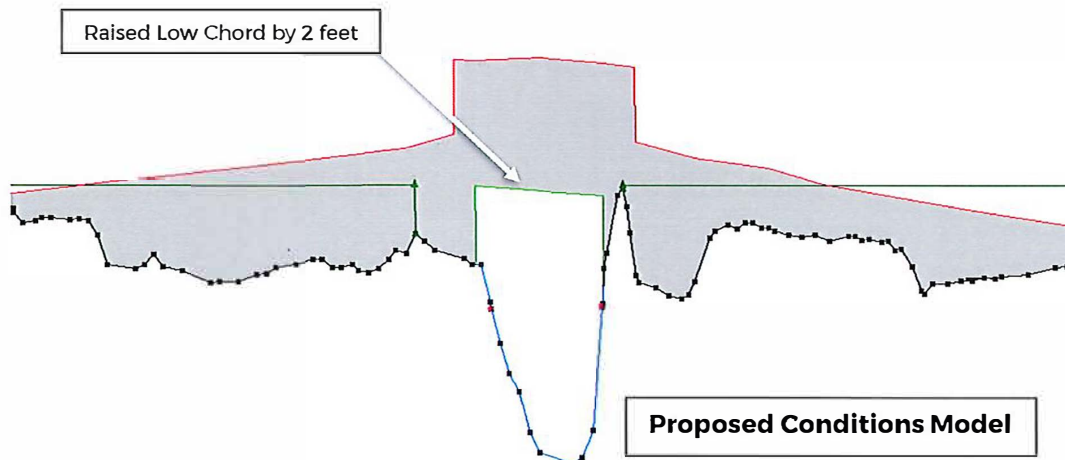
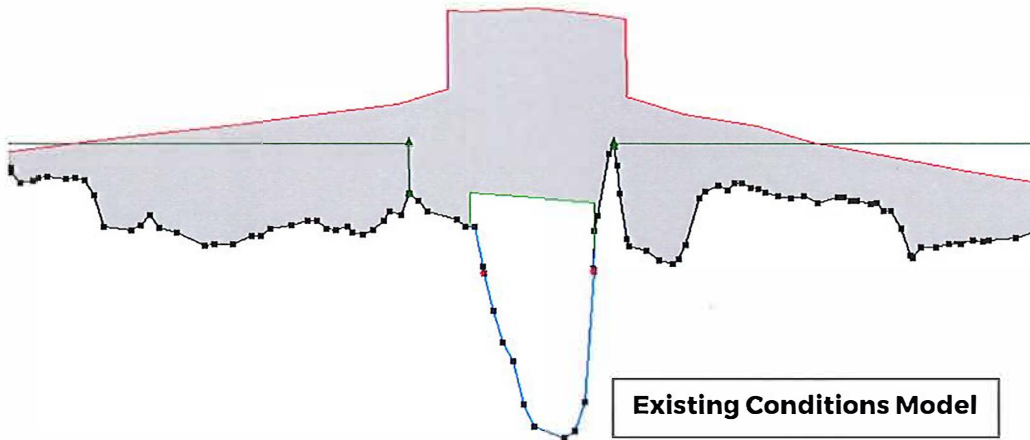




Table 3 - Alternative Proposed Model Water Surface Elevation Comparison

1% ANNUAL EXCEEDANCE PROBABILITY (100-YEAR) WATER SURFACE ELEVATIONS (FT)

XS STATION (DS TO US)	EXISTING CONDITIONS	VEGETATION REMOVAL		CHANNEL MODIFICATION		CULVERT CROSSING		ENLARGED OPENING	
		WSE	DIFFERENCE	WSE	DIFFERENCE	WSE	DIFFERENCE	WSE	DIFFERENCE
21223.36	5055.9	5055.9	0.0	5055.9	0.0	5055.7	-0.2	5055.9	0.0
21645.88	5058.2	5058.3	0.1	5058.3	0.0	5056.9	-1.4	5058.2	0.0
21745.8*	5058.7	5058.6	-0.1	5058.2	-0.5	5057.2	-1.4	5058.7	0.0
21992.29*	5060.3	5060.3	-0.1	5060.2	-0.1	5060.2	-0.2	5059.7	-0.6
22112	5060.6	5060.5	-0.2	5060.5	-0.1	5060.2	-0.4	5060.0	-0.6
22621.34	5061.3	5061.1	-0.2	5061.2	-0.1	5061.3	0.0	5061.6	0.3

*Cross-sections surrounding the State Street Bridge (Figure 8)





ENGINEERING PRELIMINARY COST ESTIMATE

WSP prepared a preliminary construction cost estimate for each of the alternatives. The cost estimates are representation of the order of magnitude costs associated with each alternative. These estimates will need to be further refined through an engineering design and construction estimation process.

Table 4: Construction Cost Estimate

ALTERNATIVE	ENGINEERING/PERMITTING	CONSTRUCTION	TOTAL COSTS
1 - Vegetation Removal	\$5,000	\$55,000	\$60,000
2 - Channel Modification	\$100,000	\$1,800,000	\$2,000,000
3 - Box Culvert	\$100,000	\$1,500,000	\$1,600,000
4 - Enlarged Opening	\$300,000	\$4,200,000	\$4,500,000

COST ESTIMATE EVALUATION

The cost estimates provided in Table 4: Construction Cost Estimate incorporate cost estimates for the conceptual design items in the construction of the proposed alternatives. Itemized cost estimates are attached in Attachment 4. The least expensive alternative is vegetation removal which includes removing the bushes, small trees and vegetation debris from the channel and banks channel. Large trees will remain in place for bank stability and protection. The vegetation removal alternative was estimated to be approximately \$60,000. The most expensive alternative would be the enlarged bridge opening. Re-constructing the bridge to raise the low chord could have a construction cost upwards of \$4.5 million. The two other alternatives would have similar costs, nearing \$2 million for the channel modification alternatives and \$1.6 million dollars for the box culvert alternative. The channel modification alternative will result in a much larger environmental impact below the ordinary high-water mark and will likely require a more extensive permitting process under NEPA Section 404. Although cost is not the only criteria for deciding on a preferred alternative, it is an essential part of the decision-making process.

CONCLUSION

After evaluating each of the alternatives, the culvert crossing option provides the most benefit at the second lowest total cost. A full reconstruction of the bridge could improve conveyance significantly, but would cost significantly more money than all alternatives. The culvert greatly reduces flooding downstream of the bridge and State Street is no longer being overtopped to the north during the 100-year event (Attachment 2). The floodway can be confined to the channel for much of the section around the bridge (Attachment 3). In addition to reducing the extents of the floodway and lowering water surface elevations in the floodplain, the culvert allows for construction of a pond in the currently unused natural depression downstream of the bridge. During the design phase, the volume and outlet



works of the pond should be designed to optimize the floodplain and floodway, while providing a new pond that will benefit the community.

FUNDING RESOURCES

Several potential funding sources for this project are available at the federal, state, and local levels that are targeted to the different aspects of this project, including flood mitigation, infrastructure, and environmental mitigation. It is recommended that an in-depth funding analysis be conducted to determine which programs are the best fit for this project and are the most likely to produce results. The funding application process usually has a cost associated with preparing the application and most funding sources require matching community funds that range from 10 to 50 percent of the total funding amount. Funding agencies and programs to consider potentially supplementing the cost of the State Street Bridge project are as follows:

1. FEMA Building Resilient Infrastructure and Communities (BRIC) - The BRIC goal is to support communities as they undertake hazard mitigation projects.
2. FEMA Flood Mitigation Assistance (FMA) Grant is a grant program to provide funding to states, local communities, federally recognized tribes, and territories. Funds can be used for projects that reduce or eliminate the risk of repetitive flood damage to buildings insured by the National Flood Insurance Program.
3. Environmental Protection Agency (EPA) Water Infrastructure Finance and Innovation Act of 2014 (WIFIA) is a federal credit program administered by EPA for eligible water and wastewater infrastructure projects. Eligibility for local, state, tribal, and federal government agencies.
4. Natural Resources Conservation Service (NRCS) Watershed Protection and Flood Prevention Act (PL 566) authorizes the United States Department of Agriculture (USDA) NRCS to help local organizations and units of government plan and implement watershed projects. PL-566 watershed projects are locally led to solve natural and human resource problems in watersheds up to 250,000 acres (less than 400 square miles). This program works through local government sponsors and helps participants solve natural resource and related economic problems on a watershed basis.
5. NRCS RCPP Regional Conservation Partnership Program provides funding for regional watershed and natural resource concerns. A partner funding contribution is required, and the project must propose a solution to address a natural resource challenge.
6. USACE - The USACE provides funding for water resource projects. A nonfederal sponsor may be required to share the costs of the project and commit to performing maintenance of the infrastructure after construction. USACE funding will incorporate the project into the federal PL-84-99 program.
7. US Bureau of Reclamation (USBOR) WaterSMART Grants provide 50/50 cost share funding to entities with water delivery authority for projects that contribute to water supply reliability in the western United States.



Additional information on the potential funding sources can be obtained from the associated organizational website.

Sincerely,

WSP Environment & Infrastructure Solutions, Inc.

A handwritten signature in blue ink that reads "Ben Rood". The signature is written in a cursive, flowing style.

Ben Rood, PE, CFM

Water Resource Engineer

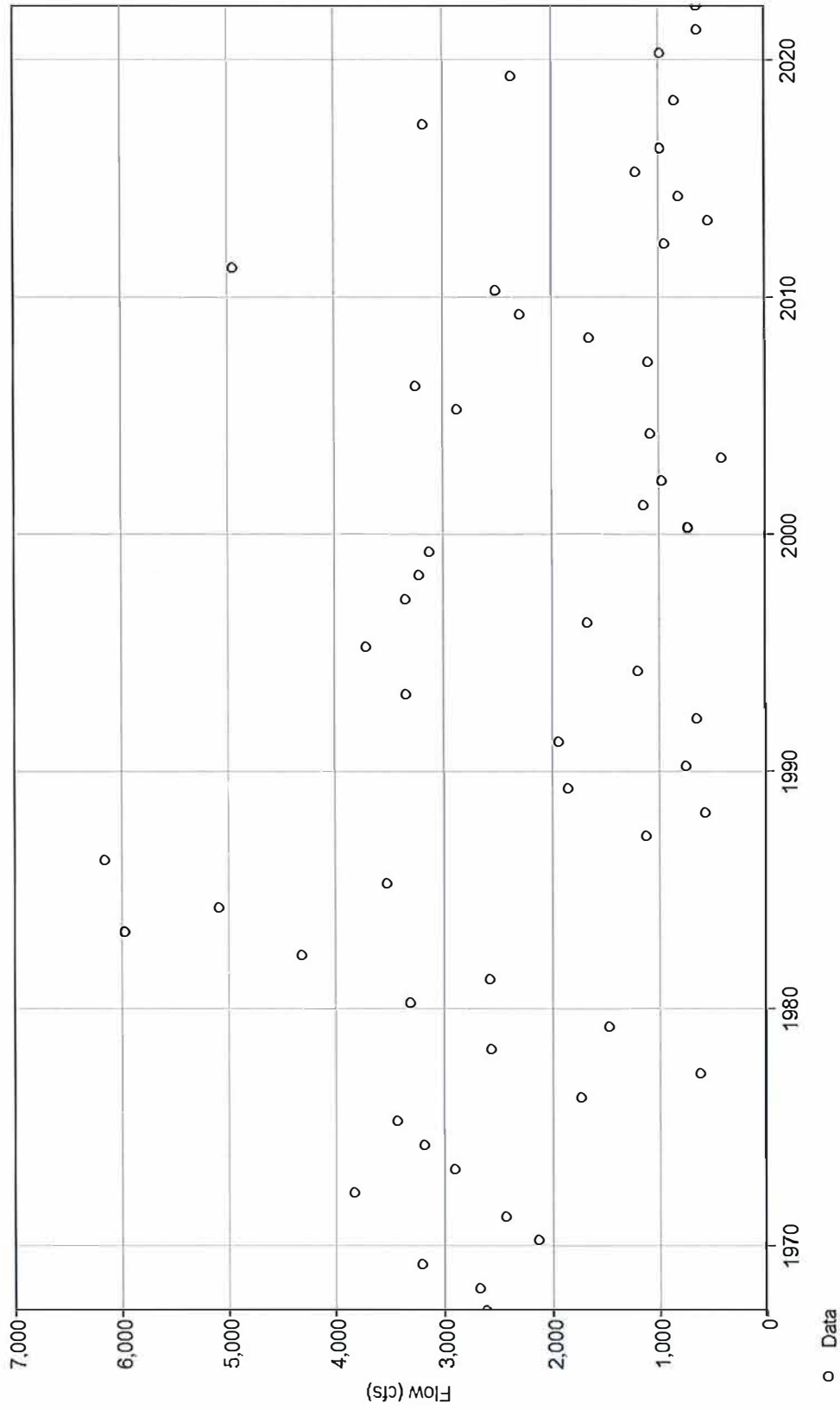


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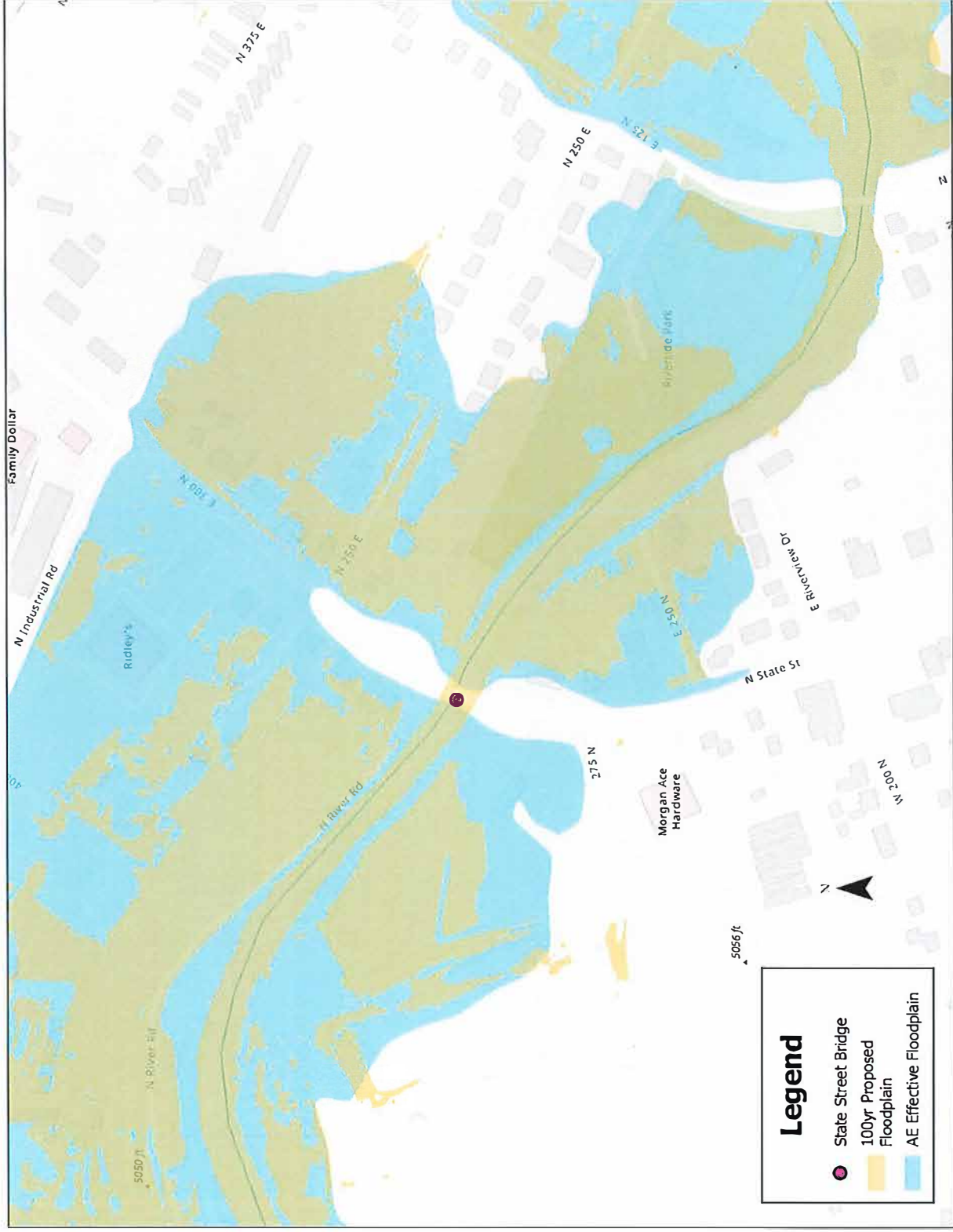
ATTACHMENT

1 WEBER RIVER AT GATEWAY GAGE DATA



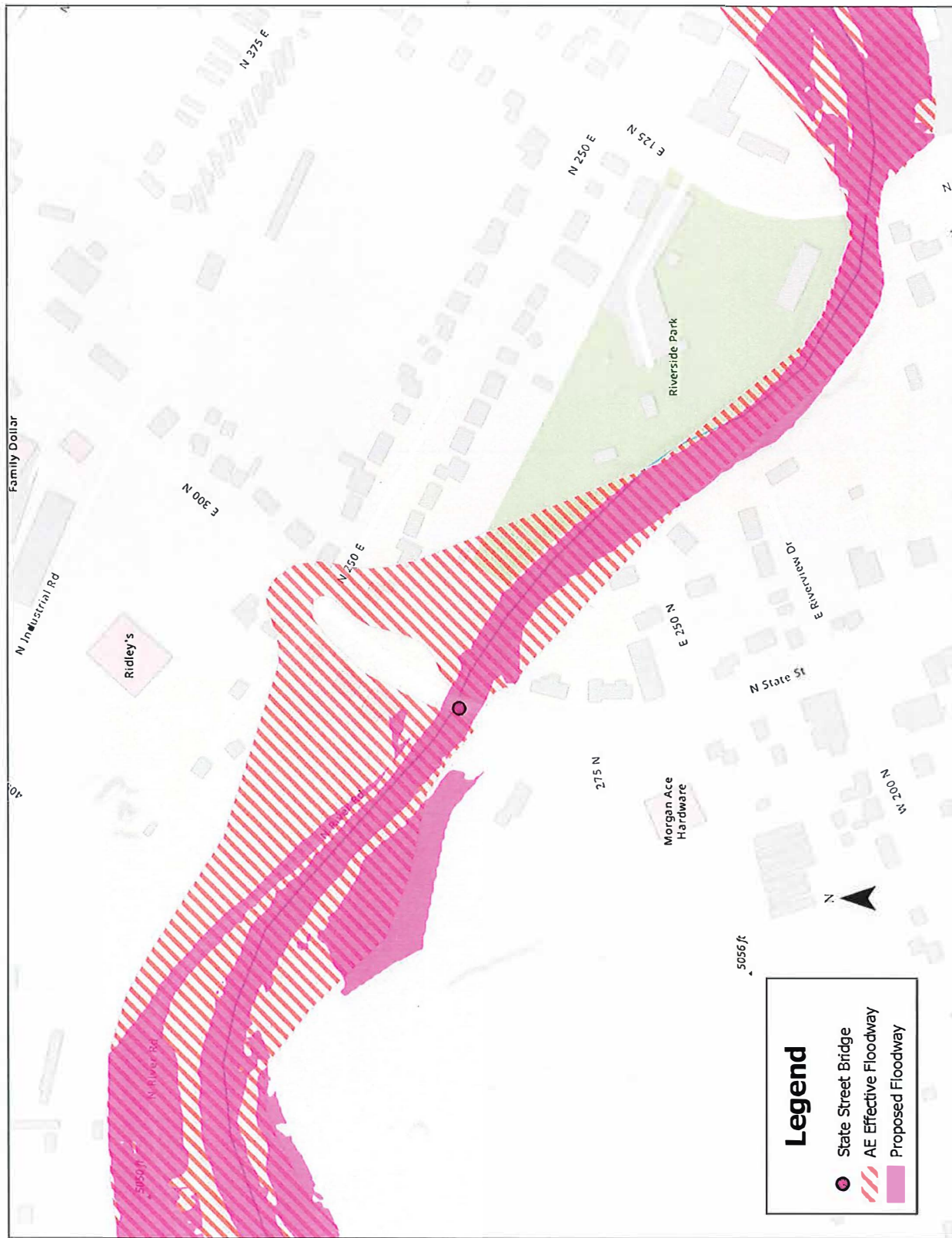
ATTACHMENT

2 PROPOSED FLOODPLAIN



ATTACHMENT

3 PROPOSED FLOODWAY



ATTACHMENT

4 COST ESTIMATE SPREADSHEETS



**MORGAN CITY STATE STREET BRIDGE MITIGATION
PRELIMINARY ESTIMATE OF PROBABLE QUANTITIES AND CONSTRUCTION COSTS
VEGETATION REMOVAL**

Item No.	Item Description	Quantity	Unit	Unit Cost	Total Cost
1	Mobilization	1	LS	\$ 3,236.00	\$ 3,236.00
2	Survey	1	LS	\$ 5,000.00	\$ 5,000.00
3	SWPPP/Erosion Control	1	LS	\$ 450.00	\$ 450.00
4	Vegetation Removal	3	AC	\$ 16,000.00	\$ 40,000.00
4					
5					
	Total				\$ 48,686.00
	10% Construction contingency				\$ 4,868.60
	Construction total				\$ 53,554.60
	5% Engineering (engineering services during construction, construction staking, etc.)				\$ 2,677.73
	1% Administrative (permitting, legal, funding, etc.)				\$ 535.55
	Grand Total				\$ 56,767.88
	Class 4 estimate (high +10% to +30%; used +20%)				\$ 68,121.45
	Class 4 estimate (low -10% to -20%; used -15%)				\$ 48,252.69



**MORGAN CITY STATE STREET BRIDGE MITIGATION
PRELIMINARY ESTIMATE OF PROBABLE QUANTITIES AND CONSTRUCTION COSTS
CHANNEL MODIFICATION**

Item No.	Item Description	Quantity	Unit	Unit Cost	Total Cost
1	Mobilization	1	LS	\$ 118,456.80	\$ 118,456.80
2	Survey	1	LS	\$ 5,000.00	\$ 5,000.00
3	SWPPP/Erosion Control	1	LS	\$ 14,710.00	\$ 14,710.00
4	Clearing and grubbing	1	SY	\$ 8,000.00	\$ 8,000.00
4	Earthwork	60000	CY	\$ 18.00	\$ 1,080,000.00
5	Riprap	3600	CY	\$ 100.00	\$ 360,000.00
6	Backfill	1500	CY	\$ 12.00	\$ 18,000.00
6					
	Total				\$ 1,604,166.80
	10% Construction contingency				\$ 160,416.68
	Construction total				\$ 1,764,583.48
	5% Engineering (engineering services during construction, construction staking, etc.)				\$ 88,229.17
	1% Administrative (permitting, legal, funding, etc.)				\$ 17,645.83
	Grand Total				\$ 1,870,458.49
	Class 4 estimate (high +10% to +30%; used +20%)				\$ 2,244,550.19
	Class 4 estimate (low -10% to -20%; used -15%)				\$ 1,589,889.72



**MORGAN CITY STATE STREET BRIDGE MITIGATION
PRELIMINARY ESTIMATE OF PROBABLE QUANTITIES AND CONSTRUCTION COSTS
BOX CULVERT**

Item No.	Item Description	Quantity	Unit	Unit Cost	Total Cost
1	Mobilization	1	LS	\$ 97,570.00	\$ 97,570.00
2	Survey	1	LS	\$ 5,000.00	\$ 5,000.00
3	SWPPP/Erosion Control	1	LS	\$ 12,125.00	\$ 12,125.00
4	Clearing and grubbing	1	SY	\$ 8,000.00	\$ 8,000.00
5	Earthwork	4000	CY	\$ 42.00	\$ 168,000.00
6	Structural Concrete Headwalls	50	CY	\$ 950.00	\$ 47,500.00
7	ROW	1	LS	\$ 150,000.00	\$ 150,000.00
8	Box Culvert	230	LF	\$ 3,000.00	\$ 690,000.00
9	Utility Relocations	5	EA	\$ 10,000.00	\$ 50,000.00
10	Pavement	2000	SF	\$ 9.50	\$ 19,000.00
11	Base Course	1000	CY	\$ 18.00	\$ 18,000.00
12	Sub-Grade	2000	CY	\$ 12.00	\$ 24,000.00
13	Riprap Apron	150	CY	\$ 100.00	\$ 15,000.00
14	Backfill	1500	CY	\$ 12.00	\$ 18,000.00
15					
	Total				\$ 1,322,195.00
	10% Construction contingency				\$ 132,219.50
	Construction total				\$ 1,454,414.50
	5% Engineering (engineering services during construction, construction staking, etc.)				\$ 72,720.73
	1% Administrative (permitting, legal, funding, etc.)				\$ 14,544.15
	Grand Total				\$ 1,541,679.37
	Class 4 estimate (high +10% to +30%; used +20%)				\$ 1,850,015.24
	Class 4 estimate (low -10% to -20%; used -15%)				\$ 1,310,427.46



MORGAN CITY STATE STREET BRIDGE MITIGATION
PRELIMINARY ESTIMATE OF PROBABLE QUANTITIES AND CONSTRUCTION COSTS
WSP PROJECT # DATE PREPARED:

Item No.	Item Description	Quantity	Unit	Unit Cost	Total Cost
1	Mobilization	1	LS	\$ 283,450.40	\$ 283,450.40
2	Survey	1	LS	\$ 5,000.00	\$ 5,000.00
3	SWPPP/Erosion Control	1	LS	\$ 35,130.00	\$ 35,130.00
4	Clearing and grubbing	1	SY	\$ 8,000.00	\$ 8,000.00
5	Bridge Construction	1	LS	\$ 3,500,000.00	\$ 3,500,000.00
6					TBD
	Total				\$ 3,831,580.40
	10% Construction contingency				\$ 383,158.04
	Construction total				\$ 4,214,738.44
	5% Engineering (engineering services during construction, construction staking, etc.)				\$ 210,736.92
	1% Administrative (permitting, legal, funding, etc.)				\$ 42,147.38
	Grand Total				\$ 4,467,622.75
	Class 4 estimate (high +10% to +30%; used +20%)				\$ 5,361,147.30

PROFESSIONAL SERVICES AGREEMENT

BETWEEN

MORGAN CITY AND GARY CRANE

This Professional Services Agreement is effective as of the 31 day of January, 2024 by and between Morgan City, a Utah municipal corporation located at 90 W. Young Street, Morgan, UT, 84050 (hereinafter referred to as "City"), and Gary Crane, a sole proprietor, located at 1227 N. Holly Circle, Layton, Utah 84040 (hereinafter referred to as "Contractor").

Contractors Responsibilities. Contractor shall consult with and advise the City from time to time at the City's request and Contractor's reasonable convenience with respect to matters assigned by the City. Contractor shall provide professional advice and counsel regards to matters under the direction of the City Manager. Contractor shall not be required to devote any particular amount of time toward the performance of his duties hereunder; provided, that Contractor shall use his reasonable efforts, and devote sufficient time, to make sure he is providing service to the City in the areas as directed by the City Manager.

Billing. Contractor will submit a billing to the City each month, at a flat rate of \$2,700 per month. This billing will cover all basic consulting services to the City including the attending of regularly scheduled meetings, phone calls, electronic meetings, and other occasional meetings with the Mayor and Council, City Manager, Staff and Citizens. Contractor will bill separately for other types of services (Additional Services) such as consultation regarding litigation (Contractor will not represent the City in litigation except as a consultant) or contract negotiations, drafting and reviewing major ordinances or major document review and drafting or other projects as approved by the City Manager. Billings for these services may be submitted as frequently as monthly.

Morgan Responsibilities. For the purposes described in this Agreement, the City shall pay Contractor a flat rate of \$2,700 per month and \$98.00 per hour for Additional Services rendered. The payment shall be paid within 30 days of the receipt of a billing for as long as services are rendered at the request of the City. Contractor is an independent contractor and may incur expenses in the performance of his duties. Contractor shall not be reimbursed for expenses for Additional Services, which are incurred on behalf of the City without prior approval.

Fees and Professional Organizations. The City agrees to pay the yearly Bar Fee for Contractor and for the yearly membership in the Utah Municipal Attorneys Association (UMAA).

Standards for Services. Contractor agrees to provide all services in a competent, professional manner, and in full compliance with all applicable laws, rules, regulations, and in accordance with all professional and industry standards applicable.

Term and Termination. The term of this Agreement is month to month until either party gives notice to the other party that the services are terminated.

Modification. This Agreement may only be modified by a written amendment hereto, executed by both parties.

Confidential Relationship. All dealings of the parties hereto are confidential, and no report, data, information or communication developed, prepared or assembled by Contractor hereunder shall be revealed or made available to any person or entity other than the City without the City's permission, except as provided by law. Should any request be made of Contractor for Confidential Information by a third party, Contractor shall notify the City in writing immediately, and shall cooperate with the City in responding to such request. Contractor shall return all Confidential Information in its possession to the City upon termination of this Agreement or upon request at any time. Contractor shall certify in writing that all Confidential Information has been returned to the City upon request.

Conflict of Interest. The City is aware that Contractor represents other municipalities, inter-local entities or individual clients. The parties agree that Contractor is free to accept any other employment which does not conflict with his representation of the City or the City's interests. In the event that such employment, in the City's opinion, does conflict with Contractor's duties hereunder, and such conflict cannot be resolved to the City's satisfaction, the City will have the right to terminate this agreement. Contractor agrees that it has a duty to inform the City of any potential conflicts of interest as soon as possible so that such conflicts can be confronted and resolved.

Independent Contractor. No employer/employee relationship is intended by the parties hereto, the relationship of Contractor to the City being that of independent contractor. The City will not be required to make payroll deductions or provide worker's compensation insurance or health benefits. Contractor will be responsible for applicable benefits, federal, state and local employment taxes, social security and Medicare taxes.

Notices. All notices that are required to be given by one party to the other under this Agreement shall be in writing and shall be deemed to have been given if delivered personally or enclosed in a properly addressed envelope and deposited with a United States Post Office for delivery by registered or certified mail and addressed to the parties at the following addresses, unless such addresses are changed by notice, in writing, to the other party:

Morgan City
Attention: Ty Bailey, City Manager
90 W. Young Street,
Morgan City, UT 84041

Gary Crane
Attention: Gary Crane
1227 N. Holly Circle
Layton, Utah, UT 84040
Telephone: (801) 391-7733

Severability. If any provision of this Agreement is held to be unenforceable, the remainder of this Agreement shall be severable and not affected thereby.

Survival. Contractor shall remain obligated under all clauses of this Agreement which expressly or by their nature extend beyond the term hereof.

Additional Provisions. This Agreement shall be governed by the laws of the State of Utah. It constitutes the entire agreement between the parties regarding its subject matter. This Agreement supersedes all proposals, oral or written, and all negotiations, conversations or discussions heretofore and between the parties related to the subject matter of this Agreement.

Executed by Contractor and by Morgan City on the date and year first above written.

Morgan City

By: _____



Its: City Manager

Gary Crane

By: _____



Gary Crane
Contractor

Morgan City
Service Order Listing
UTILITIES - 01/01/2023 to 12/31/2023

Order No.	Account No.	Customer	Location	Order Type	Order Code	Status	Order Date	Effective Date	Creator
7372	1686	DRM CONSTRUCTION	VISTA LOOP UNITS - HOA	Close an Account	FINAL READ ELECTRIC A	Processed	01/01/2023	01/01/2023	stephanie
7373	21331	DRM CONSTRUCTION	1033 N VISTA LOOP (HOA SPRINKL	Close an Account	FINAL READ ELECTRIC	Processed	01/01/2023	01/01/2023	stephanie
7374	2327	DRM CONSTRUCTION	671 E VISTA LANE (HOA SPRINKLE	Close an Account	FINAL READ ELECTRIC	Processed	01/01/2023	01/01/2023	stephanie
7385	23151	BISHOP, JORDAN & KEMMER	375 E 125 N #18	Close an Account	FINAL READ ELECTRIC	Processed	01/06/2023	01/06/2023	stephanie
7406	2359	COLE ROWSER/FORD CONSTRUCT	326 N 100 W, UNIT 48	Close an Account	FINAL READ ELECTRIC	Processed	01/26/2023	01/26/2023	stephanie
7382	100060001	BRIMLEY, VADA	297 W YOUNG	Close an Account	FINAL READ ELECTRIC A	Processed	01/23/2023	01/23/2023	stephanie
7387	2308	WALL BUILDERS	764 N SUNSET DR	Close an Account	FINAL READ ELECTRIC A	Processed	01/23/2023	01/23/2023	stephanie
7416	50379007	HENSLEY, DAVID V.	325 N 400 E #3	Close an Account	FINAL READ ELECTRIC	Processed	01/30/2023	01/30/2023	stephanie
7419	2415	COLE ROWSER/FORD CONSTRUCT	121 W 425 N, UNIT 69	Close an Account	FINAL READ ELECTRIC A	Processed	01/30/2023	01/30/2023	stephanie
7418	2416	COLE ROWSER/FORD CONSTRUCT	131 W 425 N, UNIT 70	Close an Account	FINAL READ ELECTRIC A	Processed	01/30/2023	01/30/2023	stephanie
7417	2419	COLE ROWSER/FORD CONSTRUCT	298 N 100 W, UNIT 94	Close an Account	FINAL READ ELECTRIC A	Processed	01/30/2023	01/30/2023	stephanie
7420	2422	COLE ROWSER/FORD CONSTRUCT	298 N 100 W, UNIT 91	Close an Account	FINAL READ ELECTRIC A	Processed	01/30/2023	01/30/2023	stephanie
7449	1044	FARMERS, INSURANCE/DANNY DE	388 N STATE SUITE B	Close an Account	FINAL READ ELECTRIC	Processed	02/09/2023	02/09/2023	stephanie
7445	2309	WALL BROTHERS CONSTRUCTION	762 N SUNSET DR	Close an Account	FINAL READ ELECTRIC A	Processed	02/07/2023	02/07/2023	stephanie
7455	80285004	BISCHOFF, MARK	321 W ISLAND RD	Close an Account	FINAL READ ELECTRIC A	Processed	02/13/2023	02/13/2023	stephanie
7467	2358	COLE ROWSER/FORD CONSTRUCT	326 N 100 W, UNIT 44	Close an Account	FINAL READ ELECTRIC A	Processed	02/15/2023	02/15/2023	stephanie
7471	100630605	ROSE, CALLIE	299 W 100 S	Close an Account	FINAL READ ELECTRIC	Processed	02/16/2023	02/16/2023	stephanie
7474	2208	JONES, DAREN	882 N EAGLE VIEW DR	Close an Account	FINAL READ ELECTRIC A	Processed	02/17/2023	02/17/2023	stephanie
7476	2481	COLE ROWSER/FORD CONSTRUCT	334 N 100 W, UNIT 46	Close an Account	FINAL READ ELECTRIC A	Processed	02/22/2023	02/22/2023	stephanie
7477	2482	COLE ROWSER/FORD CONSTRUCT	336 N 100 W, UNIT 47	Close an Account	FINAL READ ELECTRIC A	Processed	02/22/2023	02/22/2023	stephanie
7495	10250001	LITTLE, DON & DOROTHY	272 N 250 E	Close an Account	FINAL READ ELECTRIC A	Processed	02/28/2023	02/28/2023	stephanie
7493	28702	HUGIE, KATHY	792 E RUBY DR	Close an Account	FINAL READ ELECTRIC	Processed	02/28/2023	02/28/2023	stephanie
7502	1162	VERNON, MCKENNA	842 N SAPHIRE DR (#800 E)	Close an Account	FINAL READ ELECTRIC	Processed	03/03/2023	03/03/2023	stephanie
7501	70375008	NELSON, BRENDA	50 E 200 N #2 #1	Close an Account	FINAL READ ELECTRIC A	Processed	03/17/2023	03/17/2023	stephanie
7513	2480	COLE ROWSER/FORD CONSTRUCT	330 N 100 W, UNIT 45	Close an Account	FINAL READ ELECTRIC A	Processed	03/20/2023	03/20/2023	stephanie
7514	2483	COLE ROWSER/FORD CONSTRUCT	332 N 100 W, UNIT 48	Close an Account	FINAL READ ELECTRIC A	Processed	03/20/2023	03/20/2023	stephanie
7516	2306	WALL BUILDERS	928 E CLOVER WAY	Close an Account	FINAL READ ELECTRIC A	Processed	04/11/2023	04/11/2023	stephanie
7532	2483	COLE ROWSER/FORD CONSTRUCT	332 N 100 W, UNIT 48	Close an Account	FINAL READ ELECTRIC A	Processed	04/11/2023	04/11/2023	stephanie
7566	90401001	MANAGEMENT, RDGELINE PROPE	347 1/2 S STATE ST	Close an Account	FINAL READ ELECTRIC A	Processed	04/17/2023	04/17/2023	stephanie
7567	2289	ADAMS CONSTRUCTION SERVICE	443 W 275 N	Close an Account	FINAL READ ELECTRIC	Processed	04/21/2023	04/21/2023	stephanie
7577	21361	LUMINARY INVESTMENTS, LLC	851 N GRAND VIEW DR	Close an Account	FINAL READ ELECTRIC A	Processed	05/01/2023	05/01/2023	stephanie
7576	140132004	PROKOP, DARYL J	77 N RIVER COVE CIRCLE	Close an Account	FINAL READ ELECTRIC A	Processed	05/09/2023	05/09/2023	stephanie
7610	19821	LIBBY, ALEXA & BRADY	327 N 100 W, UNIT 28	Close an Account	FINAL READ ELECTRIC A	Processed	05/15/2023	05/15/2023	stephanie
7621	1660	JAMES BARRETT, JORDYN JACOB	850 N VIOLET DR (775 E)	Close an Account	FINAL READ ELECTRIC	Processed	05/24/2023	05/24/2023	stephanie
7641	1198	NELSON, COLTON	95 N 100 W	Close an Account	FINAL READ ELECTRIC A	Processed	05/24/2023	05/24/2023	stephanie
7714	20871	VALLIS LEASING LLC	177 N COMMERCIAL ST #2	Close an Account	FINAL READ ELECTRIC A	Processed	06/07/2023	06/07/2023	stephanie
7663	1049	BROOKS, KODY	285 & 287 N 500 E	Close an Account	FINAL READ ELECTRIC	Processed	06/07/2023	06/07/2023	stephanie
7661	1050	BROOKS, JARED	287 N 500 E	Close an Account	FINAL READ ELECTRIC	Processed	06/07/2023	06/07/2023	stephanie
7662	1051	BROOKS, KODY	285 N 500 E	Close an Account	FINAL READ ELECTRIC	Processed	06/07/2023	06/07/2023	stephanie
7673	1683	BARROWES, TAYLOR & KELSI	328 E 100 S	Close an Account	FINAL READ ELECTRIC A	Processed	06/08/2023	06/08/2023	stephanie
7672	81000004	BURCH, LARRY BLU	398 W YOUNG	Close an Account	FINAL READ ELECTRIC A	Processed	06/08/2023	06/08/2023	stephanie
7679	19411	ALLEN, MARGUS	876 N GRANDVIEW DR	Close an Account	FINAL READ ELECTRIC A	Processed	06/12/2023	06/12/2023	stephanie
7680	2542	WALL BROTHERS CONSTRUCTION	726 N SUNSET DR	Close an Account	FINAL READ ELECTRIC A	Processed	06/12/2023	06/12/2023	stephanie
7697	110215002	ANDREWS, MELANIE	40 S 200 E (ANDREWS)	Close an Account	FINAL READ ELECTRIC A	Processed	06/12/2023	06/12/2023	stephanie
7710	1477	SMITH, DILLON	375 E 125 N #3	Close an Account	FINAL READ ELECTRIC	Processed	06/12/2023	06/12/2023	stephanie
7711	2307	WALL BROTHERS CONSTRUCTION	822 E CLOVER WAY	Close an Account	FINAL READ ELECTRIC A	Processed	06/26/2023	06/26/2023	stephanie
7725	110818003	COLEMAN, DAN & CINDY	437 E DEER VALLEY DR	Close an Account	FINAL READ ELECTRIC A	Processed	06/26/2023	06/26/2023	stephanie
7738	170185002	LOWIE, KAREN & CARY	849 N VIOLET DR #27	Close an Account	FINAL READ ELECTRIC A	Processed	07/05/2023	07/05/2023	stephanie
7750	1921	ERICKSON, JACOB	465 W 275 N	Close an Account	FINAL READ ELECTRIC	Processed	07/05/2023	07/05/2023	stephanie
7737	2270	REES, JUSTIN	825 N EAGLE VIEW DR	Close an Account	FINAL READ ELECTRIC A	Processed	07/05/2023	07/05/2023	stephanie
7745	100420006	RUSSOM, ERICA EBERT & GEORG	153 W YOUNG	Close an Account	FINAL READ ELECTRIC A	Processed	07/07/2023	07/07/2023	stephanie
7760	18421	WELTMAN, DANIELLE & YESHUA	870 N EAGLE VIEW DR	Close an Account	FINAL READ ELECTRIC A	Processed	07/19/2023	07/19/2023	stephanie
7761	1959	TRAPPERS CONSTRUCTION/DAMI	1040 E MAHOGANY RIDGE RD	Close an Account	FINAL READ ELECTRIC A	Processed	07/19/2023	07/19/2023	stephanie
7765	24371	LARSEN, SHAYLI	42 S 200 W	Close an Account	FINAL READ ELECTRIC A	Processed	07/20/2023	07/20/2023	stephanie
7778	1312	ROBINSON, MCCALL & SKYLAR	847 N 600 E	Close an Account	FINAL READ ELECTRIC A	Processed	07/20/2023	07/20/2023	stephanie
7832	120175002	BOARD OF EDUCATION (PORTABL	344 E YOUNG ST (TECHNOLOGY O	Close an Account	FINAL READ ELECTRIC A	Processed	08/01/2023	08/01/2023	stephanie
7792	200160003	MICHAELSON, LACEY AND GARY	476 W 150 N #6	Close an Account	FINAL READ ELECTRIC A	Processed	08/04/2023	08/04/2023	stephanie
7853	50210001	HUNT, KEN	288 N STATE	Close an Account	FINAL READ ELECTRIC A	Processed	08/28/2023	08/28/2023	stephanie
7862	1476	CONWAY, KIM & DAVID	1023 N 650 E (LOT 228)	Close an Account	FINAL READ ELECTRIC A	Processed	08/30/2023	08/30/2023	stephanie
7876	1059	CARTER, ASHLEY	225 N 250 E #3	Close an Account	FINAL READ ELECTRIC	Processed	09/01/2023	09/01/2023	stephanie

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Order No.	Account No.	Customer	Location	Order Type	Order Code	Status	Order Date	Effective Date	Creator
7882	1655	BOSWELL, A'YREALE & ALEX	168 W 150 S #37	Close an Account	FINAL READ ELECTRIC A	Processed	09/01/2023	09/01/2023	stephanie
7889	18321	DRAPER, KELDA	1013 N VISTA LOOP, UNIT 16	Close an Account	FINAL READ ELECTRIC	Processed	09/07/2023	09/08/2023	stephanie
7912	26161	MCDONALD'S USA, LLC - LINCOLN	297 E 300 N	Close an Account	FINAL READ WATER	Processed	09/21/2023	09/22/2023	stephanie
7939	170275006	STODDARD, TRAVIS	874 N SAPHIRE WAY (800 E)	Close an Account	FINAL READ ELECTRIC	Processed	10/03/2023	10/03/2023	stephanie
7954	80640001	MC MILLAN, MARK & MELINDA	370 N 300 W	Close an Account	FINAL READ ELECTRIC A	Processed	10/10/2023	10/10/2023	stephanie
7960	1602	GILES, SANDY & TOM	103 N 300 E	Close an Account	FINAL READ ELECTRIC A	Processed	10/13/2023	10/16/2023	stephanie
7968	1375	ROWSER, COLE	317 S STATE ST--SHED	Close an Account	FINAL READ ELECTRIC A	Processed	10/17/2023	10/17/2023	stephanie
7997	150830003	BARKER, KIRK & KRISTA	612 W YOUNG STREET	Close an Account	FINAL READ ELECTRIC A	Processed	10/31/2023	10/31/2023	stephanie
7995	2631	WALL BUILDERS	749 N JENNY LANE	Close an Account	FINAL READ ELECTRIC A	Processed	10/31/2023	10/31/2023	stephanie
7999	2681	COLE ROWSER/FORD CONSTRUC	346 N 100 W, UNIT 87R	Close an Account	FINAL READ ELECTRIC	Processed	11/01/2023	11/01/2023	stephanie
8015	111080001	PORTER, LYLE - COMO FUR FARM	750 E 100 S (SO. LANE)	Close an Account	FINAL READ ELECTRIC A	Processed	11/02/2023	11/02/2023	stephanie
8017	111090001	PORTER, LYLE - COMO FUR FARM	COMO FUR FARM #2	Close an Account	FINAL READ ELECTRIC	Processed	11/02/2023	11/02/2023	stephanie
8018	2579	COLE ROWSER/FORD CONSTRUC	338 N 100 W, UNIT 89R	Close an Account	FINAL READ ELECTRIC A	Processed	11/02/2023	11/02/2023	stephanie
8013	80440002	FEARN, GEORGE A	217 N 300 W	Close an Account	FINAL READ ELECTRIC A	Processed	11/02/2023	11/02/2023	stephanie
8029	1970	TRAX POWERSPORTS, OF MORG	131 N STATE ST	Close an Account	FINAL READ ELECTRIC	Processed	11/13/2023	11/13/2023	stephanie
8030	1719	CONLIN, SCOTT & GERI	239 S 300 W FIELD ST	Close an Account	FINAL READ ELECTRIC A	Processed	11/13/2023	11/15/2023	stephanie
8046	2603	COLE ROWSER/FORD CONSTRUC	352 N 100 W, UNIT 86R	Close an Account	FINAL READ ELECTRIC A	Processed	11/15/2023	11/15/2023	stephanie
8050	2674	COLE ROWSER/FORD CONSTRUC	354 N 100 W, UNIT 85R	Close an Account	FINAL READ ELECTRIC	Processed	11/21/2023	11/21/2023	stephanie
8070	2678	COLE ROWSER/FORD CONSTRUC	344 N 100 W, UNIT 83R	Close an Account	FINAL READ ELECTRIC A	Processed	11/27/2023	11/27/2023	stephanie
8074	2675	COLE ROWSER/FORD CONSTRUC	348 N 100 W, UNIT 84R	Close an Account	FINAL READ ELECTRIC A	Processed	11/28/2023	11/28/2023	stephanie
8077	1183	RISCHAR, LANCE	830 N 900 E #11	Close an Account	FINAL READ ELECTRIC	Processed	11/29/2023	11/30/2023	stephanie
8090	2604	COLE ROWSER/FORD CONSTRUC	340 N 100 W, UNIT 82R	Close an Account	FINAL READ ELECTRIC A	Processed	12/01/2023	12/01/2023	stephanie
8083	600311115	MECHAM, RAE LYNN	326 N 700 E #4 #4	Close an Account	FINAL READ ELECTRIC	Processed	11/30/2023	12/01/2023	stephanie
8105	2680	COLE ROWSER/FORD CONSTRUC	342 N 100 W, UNIT 88R	Close an Account	FINAL READ ELECTRIC	Processed	12/11/2023	12/11/2023	stephanie
8135	2386	WALL, MICHAEL	816 E CLOVER WAY	Close an Account	FINAL READ ELECTRIC A	Processed	12/28/2023	12/28/2023	stephanie
7378	2359	COLE ROWSER/FORD CONSTRUC	328 N 100 W, UNIT 49	Connect Services	PLACE METER	Processed	01/13/2023	01/20/2023	stephanie
7379	2358	COLE ROWSER/FORD CONSTRUC	326 N 100 W, UNIT 44	Connect Services	PLACE METER	Processed	01/13/2023	01/25/2023	stephanie
7380	2480	COLE ROWSER/FORD CONSTRUC	330 N 100 W, UNIT 45	Connect Services	PLACE METER	Processed	01/13/2023	01/25/2023	stephanie
7381	2481	COLE ROWSER/FORD CONSTRUC	334 N 100 W, UNIT 46	Connect Services	PLACE METER	Processed	01/13/2023	01/25/2023	stephanie
7375	2482	COLE ROWSER/FORD CONSTRUC	336 N 100 W, UNIT 47	Connect Services	PLACE METER	Processed	01/13/2023	01/25/2023	stephanie
7377	2483	COLE ROWSER/FORD CONSTRUC	332 N 100 W, UNIT 48	Connect Services	PLACE METER	Processed	01/13/2023	01/25/2023	stephanie
7403	2270	REES, JUSTIN	888 N EAGLE VIEW DR	Connect Services	PLACE METER	Processed	01/25/2023	01/25/2023	stephanie
7436	2270	REES, JUSTIN	858 N EAGLE VIEW DR	Connect Services	PLACE METER	Processed	02/01/2023	02/02/2023	stephanie
7439	2307	WALL BROTHERS CONSTRUCTION	822 E CLOVER WAY	Connect Services	PLACE METER	Processed	02/03/2023	02/07/2023	stephanie
7483	100630603	ROSE, AUGIE (RENTAL)	299 W 100 S	Connect Services	PLACE METER	Processed	02/16/2023	02/16/2023	stephanie
7510	23281	HOFFMAN, TYLER	294 N 525 W	Connect Services	DELIVER GARBAGE CAN	Processed	03/14/2023	03/14/2023	stephanie
7519	21361	LUMINARY INVESTMENTS, LLC	851 N GRAND VIEW DR	Connect Services	PLACE METER	Processed	03/21/2023	03/21/2023	stephanie
7518	23601	MCDANIEL, CASSIE & ALEC	255 N 525 W	Connect Services	PLACE METER	Processed	03/21/2023	03/23/2023	stephanie
7534	24831	VETRIK LLC	332 N 100 W, UNIT 48	Connect Services	DELIVER GARBAGE CAN	Processed	03/24/2023	03/24/2023	stephanie
7542	2542	WALL BROTHERS CONSTRUCTION	726 N SUNSET DR	Connect Services	PLACE METER	Processed	03/29/2023	03/30/2023	stephanie
7559	24801	DAWSON, PROPERTY INVESTMEN	330 N 100 W, UNIT 45	Connect Services	DELIVER GARBAGE CAN	Processed	04/11/2023	04/14/2023	stephanie
7580	1710	COUSINEAU, JASON E	806 E MAHOGANY RIDGE RD	Connect Services	PLACE METER	Processed	04/20/2023	04/20/2023	stephanie
7573	2541	WALL BROTHERS CONSTRUCTION	718 N SUNSET DR	Connect Services	PLACE METER	Processed	04/19/2023	04/21/2023	stephanie
7574	2387	WALL, MICHAEL	804 E CLOVER WAY	Connect Services	PLACE METER	Processed	04/19/2023	04/21/2023	stephanie
7591	21362	TRACEY CLAYTON, MICHAEL BELN	851 N GRAND VIEW DR	Connect Services	PLACE METER	Processed	04/26/2023	04/26/2023	stephanie
7575	2386	WALL, MICHAEL	816 E CLOVER WAY	Connect Services	PLACE METER	Processed	04/19/2023	04/26/2023	stephanie
7607	1091	Christiansen, Kovi	219 S MEADOWLARK WAY (150 E)	Connect Services	PLACE METER	Processed	05/01/2023	05/01/2023	stephanie
7599	10510001	MORGAN CITY CORP.	215 E 125 N PK RESTROOM/BOWE	Connect Services	DELIVER GARBAGE CAN	Processed	05/02/2023	05/02/2023	stephanie
7619	2534	KIMBAL, BRET	325 N 400 E #3	Connect Services	DELIVER GARBAGE CAN	Processed	05/11/2023	05/11/2023	stephanie
7637	23601	MCDANIEL, CASSIE & ALEC	255 N 525 W	Connect Services	DELIVER GARBAGE CAN	Processed	05/23/2023	05/23/2023	stephanie
7666	16271	GITTLEMAN, MYRON & ELLEN	213 W 100 S	Connect Services	DELIVER GARBAGE CAN	Processed	06/07/2023	06/07/2023	stephanie
7701	18811	ERICKSON, CADE	455 W 275 N	Connect Services	DELIVER GARBAGE CAN	Processed	06/16/2023	06/16/2023	stephanie
7763	26051	FORTE LLC	175 N STATE ST, ACCESSORY BUIL	Connect Services	PLACE METER	Processed	07/01/2023	07/01/2023	stephanie
7749	81266002	HOOPES, REYNOLD	45 S 410 W	Connect Services	PLACE METER	Processed	07/03/2023	07/03/2023	stephanie
7841	2603	COLE ROWSER/FORD CONSTRUC	352 N 100 W, UNIT 86R	Connect Services	PLACE METER	Processed	08/23/2023	08/23/2023	stephanie
7842	2604	COLE ROWSER/FORD CONSTRUC	340 N 100 W, UNIT 82R	Connect Services	PLACE METER	Processed	08/23/2023	08/23/2023	stephanie
7840	2631	WALL BUILDERS	749 N JENNY LANE	Connect Services	PLACE METER	Processed	08/23/2023	08/23/2023	stephanie
7864	26161	MCDONALD'S USA, LLC - LINCOLN	297 E 300 N	Connect Services	PLACE METER	Processed	09/30/2023	09/30/2023	stephanie
7902	26161	MCDONALD'S USA, LLC - LINCOLN	297 E 300 N	Connect Services	PLACE METER	Processed	09/01/2023	09/01/2023	stephanie
7658	2571	ROCKY MOUNTAIN HOME BUILDE	588 W 275 N	Connect Services	PLACE METER	Processed	09/07/2023	09/07/2023	stephanie

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Order No.	Account No.	Customer	Location	Order Type	Order Code	Status	Order Date	Effective Date	Creator
7958	170275004	CONNELLY, KIRT J.	874 N SAPHIRE WAY (800 E)	Connect Services		Processed	10/03/2023	10/03/2023	stephanie
7936	25001	COVILL, CHAD & ANNA	448 W ISLAND RD	Connect Services	PLACE METER	Processed	09/29/2023	10/03/2023	stephanie
7970	20300001	MORGAN CITY DEPOT BLDG	98 E COMMERCIAL DEPOT	Connect Services	PLACE METER	Processed	10/17/2023	10/23/2023	stephanie
7982	2679	COLE ROWSER/FORD CONSTRUC	338 N 100 W, UNIT 89R	Connect Services	PLACE METER	Processed	10/25/2023	10/30/2023	stephanie
7981	2680	COLE ROWSER/FORD CONSTRUC	342 N 100 W, UNIT 88R	Connect Services	PLACE METER	Processed	10/25/2023	10/30/2023	stephanie
7980	2681	COLE ROWSER/FORD CONSTRUC	346 N 100 W, UNIT 87R	Connect Services	PLACE METER	Processed	10/25/2023	10/30/2023	stephanie
7913	80410001	TURNER, FRANCIS	269 N 300 W (IN DRIVEWAY)	Connect Services	REPLACE ELECTRIC MET	Processed	09/21/2023	11/01/2023	stephanie
8031	100500002	CANNON, GARY	211 W YOUNG	Connect Services	DELIVER GARBAGE CAN	Processed	11/13/2023	11/13/2023	stephanie
8044	2674	COLE ROWSER/FORD CONSTRUC	354 N 100 W, UNIT 85R	Connect Services	PLACE METER	Processed	11/14/2023	11/16/2023	stephanie
8043	2675	COLE ROWSER/FORD CONSTRUC	348 N 100 W, UNIT 84R	Connect Services	PLACE METER	Processed	11/14/2023	11/16/2023	stephanie
8042	2678	COLE ROWSER/FORD CONSTRUC	344 N 100 W, UNIT 83R	Connect Services	PLACE METER	Processed	11/14/2023	11/16/2023	stephanie
8104	10077502	MERZ, SHAWN	375 E 125 N #14	Connect Services	DELIVER GARBAGE CAN	Processed	12/08/2023	12/12/2023	stephanie
8125	25001	COVILL, CHAD & ANNA	448 W ISLAND RD	Connect Services	DELIVER GARBAGE CAN	Processed	12/20/2023	12/20/2023	stephanie
7693	8141	JOHNSON, SHANE	816 E CLOVER WAY	Connect Services		Processed	12/28/2023	12/28/2023	stephanie
7896	50555502	COMMERCIAL ST, LLC	185 N COMMERCIAL, STE 1	Disconnect Services	PICK UP GARBAGE CAN	Processed	06/14/2023	06/14/2023	stephanie
7897	80440002	FEARN, GEORGE A	217 N 300 W	Disconnect Services	PICK UP GARBAGE CAN	Processed	09/12/2023	09/12/2023	stephanie
7935	60031115	MECHAM, RAELENN	217 N 300 W	Disconnect Services	PICK UP GARBAGE CAN	Processed	09/12/2023	09/12/2023	stephanie
7943	1708	HANSEN, LORIS	283 EAST RIVERCOVE DR	Disconnect Services	PICK UP GARBAGE CAN	Processed	09/28/2023	09/29/2023	stephanie
8005	10510001	MORGAN CITY CORP.	215 E 125 N PK RESTROOM/BOWE	Disconnect Services	PICK UP GARBAGE CAN	Processed	10/01/2023	10/01/2023	stephanie
8088	26061	RYNELL PROPERTIES	365 N 400 E	Disconnect Services		Processed	10/31/2023	10/31/2023	stephanie
8069	2557	MORGAN CITY YOUNG ST BRIDG	APPROX. 800 E YOUNG ST (BRIDG	Disconnect Services	TURN OFF UTILITY	Processed	09/25/2023	11/01/2023	stephanie
7393	16861	MOUNTAIN VISTA VILLAS HOA	VISTA LOOP UNITS - HOA	Open an Account		Processed	11/20/2023	11/20/2023	stephanie
7394	21332	MOUNTAIN VISTA VILLAS HOA	1033 N VISTA LOOP (HOA SPRINKL	Open an Account		Processed	01/01/2023	01/01/2023	stephanie
7395	23271	MOUNTAIN VISTA VILLAS HOA	671 E VISTA LANE (HOA SPRINKL	Open an Account		Processed	01/01/2023	01/01/2023	stephanie
7368	23152	KWENTIN OVARD, KYRIE LANGST	375 E 125 N #19	Open an Account		Processed	01/09/2023	01/09/2023	stephanie
7406	23591	THREE MEN & A LADY VENTURES,	328 N 100 W, UNIT 49	Open an Account		Processed	01/20/2023	01/20/2023	stephanie
7400	23261	STREADBECK, JEFF	297 W YOUNG	Open an Account		Processed	01/23/2023	01/23/2023	stephanie
7408	23081	GREEN, JOSEPH BOSTON & RYLE	784 N SUNSET DR	Open an Account		Processed	01/24/2023	01/24/2023	stephanie
7429	24151	WARDELL BROTHERS PROPRTIE	121 W 425 N, UNIT 69	Open an Account		Processed	01/31/2023	01/31/2023	stephanie
7430	24161	WARDELL BROTHERS PROPRTIE	131 W 425 N, UNIT 70	Open an Account		Processed	01/31/2023	01/31/2023	stephanie
7431	24191	WARDELL BROTHERS PROPRTIE	266 N 100 W, UNIT 94	Open an Account		Processed	01/31/2023	01/31/2023	stephanie
7432	24221	WARDELL BROTHERS PROPRTIE	298 N 100 W, UNIT 91	Open an Account		Processed	01/31/2023	01/31/2023	stephanie
7428	2534	KIMBAL, BRET	325 N 400 E #3	Open an Account		Processed	01/31/2023	01/31/2023	stephanie
7459	23091	GREATHOUSE, AMANDA & JOSHU	752 N SUNSET DR	Open an Account		Processed	02/09/2023	02/09/2023	stephanie
7481	25471	TATTON, ANTONIA & RANDY	321 W ISLAND RD	Open an Account		Processed	02/13/2023	02/13/2023	stephanie
7457	2541	WALL BROTHERS CONSTRUCTION	718 N SUNSET DR	Open an Account		Processed	02/13/2023	02/13/2023	stephanie
7458	2542	WALL BROTHERS CONSTRUCTION	828 N SUNSET DR	Open an Account		Processed	02/13/2023	02/13/2023	stephanie
7482	23581	PHILLIPS, CHASE & AMANDA	326 N 100 W, UNIT 44	Open an Account		Processed	02/15/2023	02/15/2023	stephanie
7484	22081	HANEY, ERIC & SAMANTHA	852 N EAGLE VIEWDR	Open an Account		Processed	02/21/2023	02/22/2023	stephanie
7489	24821	AGUILAR, EDUARDO	334 N 100 W, UNIT 46	Open an Account		Processed	02/22/2023	02/22/2023	stephanie
7497	25541	MD ZUKIRMI SEMAN, DAVNA ZUKI	336 N 100 W, UNIT 47	Open an Account		Processed	02/28/2023	02/28/2023	stephanie
7496	20703	CROFT, KRISTIN	272 N 250 E	Open an Account		Processed	02/28/2023	02/28/2023	stephanie
7504	11621	HAMBLIN, MEGAN BLAIR	792 E RUBY DR	Open an Account		Processed	03/01/2023	03/01/2023	stephanie
7503	2555	RIVERVIEW	843 N SAPHIRE DR (800 E)	Open an Account		Processed	03/03/2023	03/03/2023	stephanie
7506	2557	MORGAN CITY YOUNG ST BRIDG	50 E 200 N #2 #1	Open an Account		Processed	03/03/2023	03/03/2023	stephanie
7533	23061	LAMB, ZACHARY MITCHELL & KAR	APPROX. 800 E YOUNG ST (BRIDG	Open an Account		Processed	03/06/2023	03/06/2023	stephanie
7533	24831	VETRIK LLC	828 E CLOVER WAY	Open an Account		Processed	03/20/2023	03/20/2023	stephanie
7530	24801	DAWSON PROPERTY INVESTMEN	332 N 100 W, UNIT 48	Open an Account		Processed	03/20/2023	03/20/2023	stephanie
7593	25781	CANNON, NICOLE & ISAAC	330 N 100 W, UNIT 45	Open an Account		Processed	03/17/2023	03/17/2023	stephanie
7553	2571	ROCKY MOUNTAIN HOME BUILDE	347 1/2 S STATE ST	Open an Account		Processed	04/01/2023	04/01/2023	stephanie
7579	22891	FULLMER, DUSTIN & KRACHEL	588 W 275 N	Open an Account		Processed	04/03/2023	04/03/2023	stephanie
7590	21362	TRACEY CLAYTON, MICHAEL BELN	443 W 275 N	Open an Account		Processed	04/18/2023	04/18/2023	stephanie
7606	25851	KENNEY, JOYCE C	851 N GRAND VIEWDR	Open an Account		Processed	04/21/2023	04/21/2023	stephanie
7615	19322	BRITTANY BOURNE, CHRISTOPHE	77 N RIVER COVE CIRCLE	Open an Account		Processed	05/01/2023	05/02/2023	stephanie
7643	16601	STEPHENS, TY & KATELYN	327 N 100 W, UNIT 28	Open an Account		Processed	05/08/2023	05/08/2023	stephanie
7648	11861	SNYDER, BEAU R	850 N VIOLET DR (775 E)	Open an Account		Processed	05/15/2023	05/15/2023	stephanie
7692	26161	MCDONALD'S USA, LLC - LINCOLN	95 N 100 W	Open an Account		Processed	05/25/2023	05/25/2023	stephanie
7686	10491	ROSE, MCKINLEE & TREVOR	285 & 287 N 500 E	Open an Account		Processed	06/01/2023	06/01/2023	stephanie

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7685	10501	ROSE, MCKINLEE & TREVOR	287 N 500 E	Open an Account		Processed	06/07/2023	06/07/2023	stephanie
7684	10511	ROSE, MCKINLEE & TREVOR	285 N 500 E	Open an Account		Processed	06/07/2023	06/07/2023	stephanie
7667	2603	COLE ROWSER/FORD CONSTRUC	352 N 100 W, UNIT 86R	Open an Account	PLACE METER	Processed	06/08/2023	06/08/2023	stephanie
7688	16631	ERICA EBERT, GEORGE RUSSOM	528 E 100 S	Open an Account		Processed	06/09/2023	06/09/2023	stephanie
7687	26121	BELINSKI, MARY BETH	398 W YOUNG	Open an Account		Processed	06/09/2023	06/09/2023	stephanie
7689	19412	JONES, DAREN	876 N GRANDVIEW DR	Open an Account		Processed	06/12/2023	06/12/2023	stephanie
7690	25421	REESE, LARISSA & JAMISON	726 N SUNSET DR	Open an Account		Processed	06/13/2023	06/13/2023	stephanie
7703	26201	CROFT, DIANE & AARON	40 S 200 E (ANDREWS)	Open an Account		Processed	06/20/2023	06/20/2023	stephanie
7669	26051	FORTE LLC	175 N STATE ST, ACCESSORY BUIL	Open an Account	PLACE METER	Processed	06/22/2023	06/22/2023	stephanie
7733	14771	COURTNEY KILLION, JOSHUA MAL	375 E 125 N #28	Open an Account		Processed	06/26/2023	06/26/2023	stephanie
7735	23071	MOREHOUSE, JESSICA	822 E CLOVER WAY	Open an Account		Processed	06/27/2023	06/27/2023	stephanie
7736	26311	NIELSEN, MATTHEW & TERESA	437 E DEER VALLEY DR	Open an Account		Processed	06/30/2023	06/30/2023	stephanie
7748	22701	SKINNER, AMY & CARL	858 N EAGLE VIEW DR	Open an Account		Processed	07/05/2023	07/05/2023	stephanie
7668	2604	COLE ROWSER/FORD CONSTRUC	340 N 100 W, UNIT 82R	Open an Account		Processed	06/08/2023	07/05/2023	stephanie
7747	26351	WHITE, AMBER R. & DANIEL	849 N VIOLET DR #27	Open an Account		Processed	07/05/2023	07/05/2023	stephanie
7751	19213	ABBY HOLMAN, BRENNANNORMA	465 W 275 N	Open an Account		Processed	07/05/2023	07/05/2023	stephanie
7730	2626	DRM CONSTRUCTION	777 E RUBY DR	Open an Account		Processed	06/29/2023	07/06/2023	stephanie
7731	2631	WALL BUILDERS	749 N JENNY LANE	Open an Account	PLACE METER	Processed	06/29/2023	07/06/2023	stephanie
7755	26381	MORGAN LYMAN, CADE PETERSO	153 W YOUNG	Open an Account	PLACE METER	Processed	06/29/2023	07/06/2023	stephanie
7767	18422	BRENDAN OSINSKI, KELLY MCCO	870 N EAGLE VIEW DR	Open an Account		Processed	07/07/2023	07/19/2023	stephanie
7769	19591	DERU, DAMON & AUBRY	1040 E MAHOGANY RIDGE RD	Open an Account		Processed	07/20/2023	07/19/2023	stephanie
7771	24372	TURNER, MORGAN ROBERT	42 S 200 W	Open an Account		Processed	07/20/2023	07/20/2023	stephanie
7788	13121	BRACKEN, RILEY & DANIELLE	847 N 600 E	Open an Account		Processed	07/31/2023	07/31/2023	stephanie
7806	28591	PATINO, KENZY & JOSE	476 W 150 N #6	Open an Account		Processed	08/04/2023	08/04/2023	stephanie
7732	2633	CENTER POINT CONSTRUCTION	282 E 400 N	Open an Account	PLACE METER	Processed	06/29/2023	08/07/2023	stephanie
7834	24722	BOARD OF EDUCATION	344 E YOUNG ST, PORTABLE 504	Open an Account		Processed	08/14/2023	08/14/2023	stephanie
7815	26611	BOARD OF EDUCATION	344 E YOUNG ST, PORTABLE 505	Open an Account	PLACE METER	Processed	08/14/2023	08/14/2023	stephanie
7797	2653	COLE ROWSER/FORD CONSTRUC	376 N 100 W, UNIT 50	Open an Account		Processed	08/07/2023	08/25/2023	stephanie
7798	2654	COLE ROWSER/FORD CONSTRUC	378 N 100 W, UNIT 55	Open an Account		Processed	08/07/2023	08/25/2023	stephanie
7867	2674	COLE ROWSER/FORD CONSTRUC	354 N 100 W, UNIT 85R	Open an Account		Processed	08/25/2023	08/25/2023	stephanie
7870	2675	COLE ROWSER/FORD CONSTRUC	344 N 100 W, UNIT 84R	Open an Account		Processed	08/25/2023	08/25/2023	stephanie
7871	2676	COLE ROWSER/FORD CONSTRUC	344 N 100 W, UNIT 83R	Open an Account		Processed	08/25/2023	08/25/2023	stephanie
7872	2679	COLE ROWSER/FORD CONSTRUC	338 N 100 W, UNIT 89R	Open an Account		Processed	08/25/2023	08/25/2023	stephanie
7873	2680	COLE ROWSER/FORD CONSTRUC	342 N 100 W, UNIT 88R	Open an Account		Processed	08/25/2023	08/25/2023	stephanie
7874	2681	COLE ROWSER/FORD CONSTRUC	346 N 100 W, UNIT 87R	Open an Account		Processed	08/28/2023	08/28/2023	stephanie
7858	26731	HADLI MURRAY, TRISTIAN TRUSSE	268 N STATE	Open an Account		Processed	08/31/2023	08/31/2023	stephanie
7885	14761	MUIR, ANNA	1023 N 650 E (LOT 228)	Open an Account		Processed	09/01/2023	09/01/2023	stephanie
7892	16551	MURRAY, MICHELLE & JUDY	168 W 150 S #37	Open an Account		Processed	09/08/2023	09/08/2023	stephanie
7894	18322	HOLMQUIST, KIMBERLY	1073 N VISTA LOOP, UNIT 16	Open an Account		Processed	09/08/2023	09/08/2023	stephanie
7836	2665	WALL BROTHERS CONSTRUCTION	719 N JENNY LANE	Open an Account	PLACE METER	Processed	08/22/2023	09/15/2023	stephanie
7837	2666	WALL BROTHERS CONSTRUCTION	736 N SUNSET DR	Open an Account	PLACE METER	Processed	08/22/2023	09/15/2023	stephanie
7927	26162	WATSON MANAGEMENT	297 E 300 N	Open an Account		Processed	09/22/2023	09/22/2023	stephanie
7670	26061	RYNELL PROPERTIES	365 N 400 E	Open an Account	PLACE METER	Processed	06/08/2023	09/25/2023	stephanie
7964	27031	MECHAM, MISTI	370 N 300 W	Open an Account		Processed	10/10/2023	10/10/2023	stephanie
7976	16021	RICARDO AGUIRRE, MARIA RASC	103 N 300 E	Open an Account		Processed	10/16/2023	10/16/2023	stephanie
8004	263101	INGLE, JADEN & VICTORIA	749 N JENNY LANE	Open an Account		Processed	10/31/2023	10/31/2023	stephanie
8007	26811	GREGORY ROMAN, JILLIAN TURN	346 N 100 W, UNIT 87R	Open an Account		Processed	10/31/2023	10/31/2023	stephanie
8006	27091	WILKINSON, JESSE & JEANNE	612 W YOUNG STREET	Open an Account		Processed	11/02/2023	11/02/2023	stephanie
8037	26791	TANNER BISCHOFF, ASHLYNN LUC	338 N 100 W, UNIT 89R	Open an Account		Processed	11/02/2023	11/02/2023	stephanie
8020	27161	ROJAS, DANIEL	217 N 300 W	Open an Account		Processed	11/03/2023	11/03/2023	stephanie
8053	19701	STUART, STAN	131 N STATE ST	Open an Account		Processed	11/13/2023	11/13/2023	stephanie
8055	17191	HARDMAN, MATTHEW & MICHELLE	238 S 300 W FIELD ST	Open an Account		Processed	11/15/2023	11/15/2023	stephanie
8057	26031	CARTER, AMANDA	352 N 100 W, UNIT 86R	Open an Account		Processed	11/15/2023	11/15/2023	stephanie
8040	2722	COLE ROWSER/FORD CONSTRUC	388 N 100 W, UNIT 59R	Open an Account	PLACE METER	Processed	11/14/2023	11/14/2023	stephanie
8065	2732	COLE ROWSER/FORD CONSTRUC	384 N 100 W, UNIT 52	Open an Account	PLACE METER	Processed	11/27/2023	11/27/2023	stephanie
8066	2733	COLE ROWSER/FORD CONSTRUC	380 N 100 W, UNIT 51	Open an Account	PLACE METER	Processed	11/27/2023	11/27/2023	stephanie
8067	2734	COLE ROWSER/FORD CONSTRUC	386 N 100 W, UNIT 53	Open an Account	PLACE METER	Processed	11/27/2023	11/27/2023	stephanie
8068	2735	COLE ROWSER/FORD CONSTRUC	382 N 100 W, UNIT 54	Open an Account	PLACE METER	Processed	11/27/2023	11/27/2023	stephanie
8056	26741	COLE ROWSER/FORD CONSTRUC	354 N 100 W, UNIT 85R	Open an Account		Processed	11/21/2023	11/21/2023	stephanie
8080	26781	PENTZ, ADAM & KATRINA	344 N 100 W, UNIT 83R	Open an Account		Processed	11/27/2023	11/27/2023	stephanie

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8081	28751	SKIDMORE, WILLIAM CARSON	348 N 100 W, UNIT 84R	Open an Account		Processed	11/28/2023	11/28/2023	stephanie
8097	28041	ROSS, JACOB	340 N 100 W, UNIT 82R	Open an Account		Processed	12/01/2023	12/01/2023	stephanie
8095	2744	RUPE, DON	326 N 700 E #4 #4	Open an Account		Processed	12/01/2023	12/01/2023	stephanie
8108	26801	DAVISON, MICHAEL	342 N 100 W, UNIT 88R	Open an Account		Processed	12/11/2023	12/11/2023	stephanie
8140	23861	JOHNSON, SHANE	816 E CLOVER WAY	Open an Account		Processed	12/28/2023	12/28/2023	stephanie
7362	20301	JESSEN, ERIC & BRIDGET	864 EAGLE VIEW DR	Place Garbage Can	DELIVER GARBAGE CAN	Processed	12/30/2022	01/05/2023	stephanie
7370	24591	BULLOCK, PAYTON & CHELSEY	251 S HOUND STREET, LOT 78	Place Garbage Can	REPLACE BROKEN GARB	Processed	01/10/2023	01/10/2023	stephanie
7390	1688	BROOKS, BART & BROOKE	651 N MEADOW CREEK WAY	Place Garbage Can	REPLACE BROKEN GARB	Processed	01/23/2023	01/23/2023	stephanie
7391	150850003	BARRACLOUGH, KATIE & BEN	650 W YOUNG ST	Place Garbage Can	REPLACE BROKEN GARB	Processed	01/23/2023	01/30/2023	stephanie
7444	1429	BARKER, KAMBER LYNN & KELLEY	444 W 100 N	Place Garbage Can	REPLACE BROKEN GARB	Processed	02/07/2023	02/10/2023	stephanie
7466	50680000	GONZALEZ, GINA	185 N 600 E	Place Garbage Can	DELIVER GARBAGE CAN	Processed	02/15/2023	02/15/2023	stephanie
7487	20483	CENTERPOINT CONSTRUCTION II	289 E 400 N	Place Garbage Can		Processed	02/27/2023	02/24/2023	stephanie
7500	80292001	VASQUEZ, JAZMINE & JUSTIN	337 N 100 W, UNIT 33	Place Garbage Can	DELIVER GARBAGE CAN	Processed	03/07/2023	03/02/2023	stephanie
7505	20097003	GILSON, TREVOR	485 N 300 W	Place Garbage Can	REPLACE BROKEN GARB	Processed	03/07/2023	03/07/2023	stephanie
7523	20091001	MECHAM, SCOTT	132 N 525 W (LOT 31)	Place Garbage Can	REPLACE BROKEN GARB	Processed	03/15/2023	03/15/2023	stephanie
7540	90200002	LDS CHURCH	607 W 150 N	Place Garbage Can	REPLACE BROKEN GARB	Processed	03/27/2023	03/27/2023	stephanie
7547	111580005	GOODRICH, DAN	93 N STATE ST.	Place Garbage Can	REPLACE BROKEN GARB	Processed	03/29/2023	04/03/2023	stephanie
7556	19571	CLEMENT, BLAKE	878 GREAT VIEW DR	Place Garbage Can	DELIVER GARBAGE CAN	Processed	03/29/2023	04/03/2023	stephanie
7562	160250002	RASSAND, CODY	271 S 300 W FIELD ST	Place Garbage Can	REPLACE BROKEN GARB	Processed	04/05/2023	04/06/2023	stephanie
7562	1975	PORTER, CAMERON & STEPHANIE	950 E MAHOGANY RIDGE RD #5	Place Garbage Can	REPLACE BROKEN GARB	Processed	04/13/2023	04/13/2023	stephanie
7565	80930009	EDDINGTON, DARRELL G.	31 N 300 W	Place Garbage Can	REPLACE BROKEN GARB	Processed	04/14/2023	04/17/2023	stephanie
7572	1629	SHAW, SARAH & JEREMY	834 N 775 E VIOLET DR	Place Garbage Can	REPLACE BROKEN GARB	Processed	04/19/2023	04/20/2023	stephanie
7582	1578	CAINE, TIFFANY & JOHN	60 E 100 S	Place Garbage Can		Processed	04/21/2023	04/21/2023	stephanie
7592	170060007	MORTENSON, MONTY	710 E 875 N DANI'S WAY #41	Place Garbage Can	REPLACE BROKEN GARB	Processed	05/01/2023	05/01/2023	stephanie
7576	2037	DAVIS, VALERIE & SCOTT	722 W 150 N	Place Garbage Can	DELIVER GARBAGE CAN	Processed	05/01/2023	05/01/2023	stephanie
7601	110170001	JOHANSON, LARRY	191 E 100 S	Place Garbage Can	REPLACE BROKEN GARB	Processed	05/03/2023	05/04/2023	stephanie
7608	1700	GOULDING, TYSON & KAYLA	957 N 600 E	Place Garbage Can	DELIVER GARBAGE CAN	Processed	05/05/2023	05/05/2023	stephanie
7609	80600002	MANNING, LELAND	330 N 300 W #1	Place Garbage Can	DELIVER GARBAGE CAN	Processed	05/05/2023	05/05/2023	stephanie
7634	150750002	HARDEN, AMANDA	553 W DERRICK CIRCLE	Place Garbage Can	DELIVER GARBAGE CAN	Processed	05/22/2023	05/22/2023	stephanie
7635	160480002	JENSEN, LYNETTE CARTER	281 S HOUND STREET	Place Garbage Can	REPLACE BROKEN GARB	Processed	05/22/2023	05/22/2023	stephanie
7644	21041	MURDOCK, TAYLOR	904 N EAGLE VIEW DR	Place Garbage Can	DELIVER GARBAGE CAN	Processed	05/26/2023	05/26/2023	stephanie
7638	62220009	ROGERS, BRENT & DENISE	454 N 700 E (FLAG LOT)	Place Garbage Can	REPLACE BROKEN GARB	Processed	05/23/2023	05/26/2023	stephanie
7660	110919000	JACKSON, RICH	443 E DEER VALLEY DR	Place Garbage Can	REPLACE BROKEN GARB	Processed	06/01/2023	06/01/2023	stephanie
7676	40065002	POORE, ANISSA	193 N 600 E	Place Garbage Can	REPLACE BROKEN GARB	Processed	06/08/2023	06/08/2023	stephanie
7754	20311	BROWN, AMIE & KYLE	863 N GRANDVIEW DR	Place Garbage Can	DELIVER GARBAGE CAN	Processed	07/13/2023	07/13/2023	stephanie
7758	1138	LITTLE, KIP	200 S STATE	Place Garbage Can	DELIVER GARBAGE CAN	Processed	07/17/2023	07/17/2023	stephanie
7759	80280501	FREESTONE, BLAINE	333 W ISLAND RD	Place Garbage Can	REPLACE BROKEN GARB	Processed	07/18/2023	07/18/2023	stephanie
7784	130055001	THURGOOD, DALE	627 N MEADOW CK WAY	Place Garbage Can	REPLACE BROKEN GARB	Processed	07/20/2023	07/20/2023	stephanie
7784	80965003	NELSON, NATALIE	40 N 300 W	Place Garbage Can	REPLACE BROKEN GARB	Processed	07/31/2023	08/01/2023	stephanie
7790	23601	MCDANIEL, CASSIE & ALEC	255 N 525 W	Place Garbage Can	DELIVER GARBAGE CAN	Processed	08/03/2023	08/03/2023	stephanie
7800	90140001	CARTER, GENE	114 W 100 N	Place Garbage Can	DELIVER GARBAGE CAN	Processed	08/08/2023	08/08/2023	stephanie
7804	110912009	FRANCIS, KENT W.	325 E DEER VALLEY DR	Place Garbage Can	REPLACE BROKEN GARB	Processed	08/10/2023	08/10/2023	stephanie
7809	1274	SNYDER, SETH	154 S STATE	Place Garbage Can	REPLACE BROKEN GARB	Processed	08/14/2023	08/14/2023	stephanie
7812	160150003	JONES, BEVERLEE & JONATHAN	202 W 200 S	Place Garbage Can	REPLACE BROKEN GARB	Processed	08/14/2023	08/14/2023	stephanie
7813	81160001	WALTERS, JACKLYN	42 SCOTT CIR	Place Garbage Can	REPLACE BROKEN GARB	Processed	08/14/2023	08/14/2023	stephanie
7819	200992004	CLEMENS, JESSICA	589 W 150 N, LOT 35	Place Garbage Can	REPLACE BROKEN GARB	Processed	08/16/2023	08/16/2023	stephanie
7846	16301	STEVENS, DAVID J & LILLIAN	1037 N 600 E	Place Garbage Can	REPLACE BROKEN GARB	Processed	08/24/2023	08/24/2023	stephanie
7849	1640	NYE, SHAYLI & JADEN	1049 N 600 E	Place Garbage Can	REPLACE BROKEN GARB	Processed	08/24/2023	08/24/2023	stephanie
7863	110932001	PIERCE, JERRY	353 E IMPERIAL DR.	Place Garbage Can	REPLACE BROKEN GARB	Processed	08/30/2023	08/31/2023	stephanie
7884	81150205	SHAW, BRENT	575 W YOUNG ST	Place Garbage Can	REPLACE BROKEN GARB	Processed	09/01/2023	09/01/2023	stephanie
7904	111965004	ROBERTS, NATHAN & CASUREE	573 E RIDGELINE DRIVE	Place Garbage Can	REPLACE BROKEN GARB	Processed	09/14/2023	09/14/2023	stephanie
7903	1800	TRIPP RYAN & SHANNON	1120 E MAHOGANY RIDGE RD	Place Garbage Can	DELIVER GARBAGE CAN	Processed	09/14/2023	09/14/2023	stephanie
7900	19391	NAYLOR, CHRISTOPHER L. & MOR	901 N EAGLE VIEW DR	Place Garbage Can	REPLACE BROKEN GARB	Processed	09/13/2023	09/13/2023	stephanie
7965	50390002	PRYOR, MARCIA	407 E 300 N	Place Garbage Can		Processed	10/12/2023	10/12/2023	stephanie
7966	19213	ABBY HOLMAN, BRENNAN NORMA	465 W 275 N	Place Garbage Can	DELIVER GARBAGE CAN	Processed	10/16/2023	10/16/2023	stephanie
7978	1549	HOFFMAN, DALLIN & LAURA	730 E DANI'S WAY (875 N)	Place Garbage Can	REPLACE BROKEN GARB	Processed	10/25/2023	10/26/2023	stephanie
8034	80850005	MECHAM, ZACHARY L	77 N 375 W	Place Garbage Can	DELIVER GARBAGE CAN	Processed	11/06/2023	11/06/2023	stephanie
8033	21031	MEREDITH, SHARA & JUSTIN	846 N GRANDVIEW DR	Place Garbage Can	DELIVER GARBAGE CAN	Processed	11/14/2023	11/14/2023	stephanie
8072	21991	BENNETT, ETHAN	400 N WEBSTER LN	Place Garbage Can	DELIVER GARBAGE CAN	Processed	11/28/2023	11/28/2023	stephanie

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8078	17191	HARDMAN, MATTHEW & MICHELLE	239 S 300 W FIELD ST	Place Garbage Can	DELIVER GARBAGE CAN	Processed	11/29/2023	12/01/2023	stephanie
8087	10100003	CROSSLEY, CHAD AND KARLIE	311 E 125 N	Place Garbage Can	REPLACE BROKEN GARB	Processed	12/01/2023	12/07/2023	stephanie
8115	27161	ROJAS, DANIEL	217 N 300 W	Place Garbage Can	DELIVER GARBAGE CAN	Processed	12/14/2023	12/14/2023	stephanie
8122	80360001	STEVENS, STANLEY	355 N 300 W	Place Garbage Can	REPLACE BROKEN GARB	Processed	12/18/2023	12/18/2023	stephanie
7618	20301	JESSEN, ERIC & BRIDGET	864 EAGLE VIEW DR	Place Meter	PLACE METER	Processed	05/11/2023	05/10/2023	stephanie
7616	21031	MEREDITH, SHARA & JUSTIN	846 N GRANDVIEW DR	Place Meter	PLACE METER	Processed	08/30/2023	08/30/2023	stephanie
7865	23061	LAMB, ZACHARY MITCHELL & KAR	828 E CLOVER WAY	Place Meter	PLACE METER	Processed	08/30/2023	08/30/2023	stephanie
7866	23071	MOREHOUSE, JESSICA	822 E CLOVER WAY	Place Meter	PLACE METER	Processed	08/30/2023	08/30/2023	stephanie
8039	263101	INGLE, JADEN & VICTORIA	749 N JENNY LANE	Pull Garbage Can	PICK UP GARBAGE CAN	Processed	02/01/2023	02/01/2023	stephanie
7443	23641	CASEY, NICOLE & JARED	557 E RIDGELINE DR	Pull Garbage Can	PICK UP GARBAGE CAN	Processed	11/01/2023	11/01/2023	stephanie
8035	2037	DAVIS, VALERIE & SCOTT	722 W 150 N	Pull Garbage Can	PICK UP GARBAGE CAN	Void	10/31/2023	11/01/2023	stephanie
8002	2037	DAVIS, VALERIE & SCOTT	722 W 150 N	Pull Garbage Can	PICK UP GARBAGE CAN	Void	10/31/2023	11/01/2023	stephanie
8126	80360001	STEVENS, STANLEY	355 N 300 W	Pull Garbage Can	PICK UP GARBAGE CAN	Processed	12/20/2023	12/19/2023	stephanie
7807	24721	BOARD OF EDUCATION	235 E YOUNG ST ~ MOR PORTBLE	Pull Meter	FINAL READ ELECTRIC A	Processed	08/07/2023	08/07/2023	stephanie
7364	20041	ERICKSON, JACOB	285 N 100 W, UNIT 13	Renter Move In	FINAL READ ELECTRIC A	Processed	01/04/2023	01/05/2023	stephanie
7369	22691	BELLUSTON, LUKE & KENDRA	294 N 100 W, UNIT 90R	Renter Move In	FINAL READ ELECTRIC A	Processed	01/10/2023	01/10/2023	stephanie
7375	10561	LUMINARY INVESTMENTS, LLC	209 N STATE #D	Renter Move In	FINAL READ ELECTRIC	Processed	01/13/2023	01/13/2023	stephanie
7386	150070004	CLARK, CALE W	490 W JARED CIRCLE	Renter Move In	FINAL READ ELECTRIC A	Processed	01/20/2023	01/20/2023	stephanie
7407	23591	THREE MEN & A LADY VENTURES,	328 N 100 W, UNIT 49	Renter Move In	FINAL READ ELECTRIC A	Processed	01/23/2023	01/23/2023	stephanie
7415	50310105	JED FLINT INVESTMENTS	295 N 500 E	Renter Move In	FINAL READ ELECTRIC A	Processed	01/30/2023	01/31/2023	stephanie
7427	18112000	RIVERSIDE APTS/UNIT 20	180 E 125 N #20	Renter Move In	FINAL READ ELECTRIC	Processed	01/31/2023	02/01/2023	stephanie
7426	22221	JONES, HEATHER	889 N SAPPHERE WAY	Renter Move In	FINAL READ ELECTRIC	Processed	01/31/2023	02/01/2023	stephanie
7461	1033	GRISTMILL LLC	388 N STATE SUITE B	Renter Move In	FINAL READ ELECTRIC	Processed	02/09/2023	02/09/2023	stephanie
7454	1846	WARDELL, BROTHERS PROPERTIE	350 E 125 N, UNIT 2	Renter Move In	FINAL READ ELECTRIC	Processed	02/13/2023	02/13/2023	stephanie
7472	20611	DRAPER, KELDA	1023 NVISTA LOOP, UNIT 17	Renter Move In	FINAL READ ELECTRIC	Processed	02/16/2023	02/16/2023	stephanie
7469	20481	ROBERTS, NATHAN	337 N 100 W, UNIT 33	Renter Move In	FINAL READ ELECTRIC A	Processed	02/16/2023	02/16/2023	stephanie
7494	24151	WARDELL, BROTHERS PROPERTIE	121 W 425 N, UNIT 69	Renter Move In	FINAL READ ELECTRIC A	Processed	02/28/2023	03/01/2023	stephanie
7507	22681	BELLUSTON, LUKE & KENDRA	292 N 100 W, UNIT 95	Renter Move In	FINAL READ ELECTRIC A	Processed	03/08/2023	03/08/2023	stephanie
7509	1390	BROWN, DOUG & JULIE	87 N 325 E	Renter Move In	FINAL READ ELECTRIC	Processed	03/10/2023	03/10/2023	stephanie
7508	24191	WARDELL, BROTHERS PROPERTIE	296 N 100 W, UNIT 94	Renter Move In	FINAL READ ELECTRIC A	Processed	03/10/2023	03/10/2023	stephanie
7524	180150012	WARDELL, BROTHERS PROPERTIE	88 E 250 N #10	Renter Move In	FINAL READ ELECTRIC A	Processed	03/20/2023	03/20/2023	stephanie
7539	24221	WARDELL, BROTHERS PROPERTIE	298 N 100 W, UNIT 91	Renter Move In	FINAL READ ELECTRIC A	Processed	03/24/2023	03/27/2023	stephanie
7552	23581	PHILLIPS, CHASE & AMANDA	326 N 100 W, UNIT 44	Renter Move In	FINAL READ ELECTRIC	Processed	03/30/2023	03/30/2023	stephanie
7549	180080012	WARDELL, BROTHERS PROPERTIE	88 E 250 N #3	Renter Move In	FINAL READ ELECTRIC	Processed	03/30/2023	03/30/2023	stephanie
7545	24161	WARDELL, BROTHERS PROPERTIE	131 W 425 N, UNIT 70	Renter Move In	FINAL READ ELECTRIC A	Processed	03/29/2023	04/01/2023	stephanie
7544	24211	THREE MEN & A LADY VENTURES,	304 N 100 W, UNIT 92	Renter Move In	FINAL READ ELECTRIC A	Processed	03/29/2023	04/01/2023	stephanie
7554	70368104	RIVERVIEW LAND LLC	54 E 200 N, APT #4	Renter Move In	FINAL READ ELECTRIC	Processed	04/04/2023	04/03/2023	stephanie
7557	17912	SIDWELL CAMERON & KAY	254 N STATE ST	Renter Move In	FINAL READ ELECTRIC A	Processed	04/05/2023	04/05/2023	stephanie
7555	81195010	REED RHODES RENTAL	15 S SCOTT CIRCLE	Renter Move In	FINAL READ ELECTRIC A	Processed	04/04/2023	04/06/2023	stephanie
7560	2555	RIVERVIEW	50 E 200 N #2 #1	Renter Move In	FINAL READ ELECTRIC	Processed	04/12/2023	04/12/2023	stephanie
7594	20460003	LITTLE, CRAIG J.	13 N COMMERCIAL	Renter Move In	FINAL READ ELECTRIC	Processed	05/01/2023	05/01/2023	stephanie
7605	21831	MCCULLAR, EDDIE W	1036 N VISTA LOOP, UNIT 8	Renter Move In	FINAL READ ELECTRIC A	Processed	05/01/2023	05/01/2023	stephanie
7595	25781	CANNON, NICOLE & ISAAC	347 1/2 S STATE ST	Renter Move In	FINAL READ ELECTRIC A	Processed	05/01/2023	05/01/2023	stephanie
7603	1354	SNYDER, BRIDGER J	33 N COMMERCIAL	Renter Move In	FINAL READ ELECTRIC A	Processed	05/03/2023	05/03/2023	stephanie
7611	21261	ANDERSON, CURTIS & ERICA	389 N 100 W, UNIT 39	Renter Move In	FINAL READ ELECTRIC A	Processed	05/08/2023	05/08/2023	stephanie
7639	20453	ACKETT, JASSON	335 N 100 W, UNIT 30	Renter Move In	FINAL READ ELECTRIC A	Processed	05/24/2023	05/24/2023	stephanie
7642	100630603	ROSE, AUGSIE (RENTAL)	299 W 100 S	Renter Move In	FINAL READ ELECTRIC	Processed	05/25/2023	05/25/2023	stephanie
7646	10351011	RIVERVIEW LLC	225 N 250 E #4	Renter Move In	FINAL READ ELECTRIC	Processed	05/26/2023	05/26/2023	stephanie
7650	20181	TRIPP, RYAN	283 N 100 W, UNIT 25	Renter Move In	FINAL READ ELECTRIC A	Processed	06/01/2023	06/01/2023	stephanie
7652	180180013	WARDELL, BROTHERS PROPERTIE	88 E 250 N #13	Renter Move In	FINAL READ ELECTRIC	Processed	06/01/2023	06/01/2023	stephanie
7653	18111000	RIVERSIDE APTS/UNIT 10	180 E 125 N #10	Renter Move In	FINAL READ ELECTRIC	Processed	06/01/2023	06/01/2023	stephanie
7657	180190105	WARDELL, BROTHERS PROPERTIE	88 E 250 N #14	Renter Move In	FINAL READ ELECTRIC	Processed	06/01/2023	06/01/2023	stephanie
7664	19511	DAWSON, AMBER	391 N 100 W, UNIT 40	Renter Move In	FINAL READ ELECTRIC	Processed	06/01/2023	06/01/2023	stephanie
7674	18731	SHERMAN, JOHN & TRACEY	796 E RUBY DR	Renter Move In	FINAL READ ELECTRIC	Processed	06/05/2023	06/05/2023	stephanie
7675	21241	FIELD, DESTINY & JOHN	381 N 100 W, UNIT 37	Renter Move In	FINAL READ ELECTRIC A	Processed	06/08/2023	06/08/2023	stephanie
7705	50555502	COMMERCIAL ST. LLC	185 N COMMERCIAL, STE 1	Renter Move In	FINAL READ ELECTRIC	Processed	06/14/2023	06/14/2023	stephanie
7700	2159	WARDELL, BROTHERS PROPERTIE	88 E 250 N #19	Renter Move In	FINAL READ ELECTRIC	Processed	06/21/2023	06/21/2023	stephanie
7702	18811	ERICKSON, CADE	455 W 275 N	Renter Move In	FINAL READ ELECTRIC A	Processed	06/21/2023	06/21/2023	stephanie
7720	22861	RYNELL PROPERTIES	278 N 100 W, UNIT 23	Renter Move In	FINAL READ ELECTRIC A	Processed	06/22/2023	06/22/2023	stephanie
7728	2534	KIMBAL, BRET	325 N 400 E #3	Renter Move In	FINAL READ ELECTRIC	Processed	06/28/2023	06/28/2023	stephanie

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7721	24831	YETRIK LLC	332 N 100 W, UNIT 48	Renter Move In	FINAL READ ELECTRIC A	Processed	06/28/2023	07/03/2023	stephanie
7742	25541	MD ZUKIRMI SEMAN, DAVNA ZUKI	272 N 250 E	Renter Move In	FINAL READ ELECTRIC A	Processed	07/05/2023	07/05/2023	stephanie
7745	22401	ABIGAIL HOLMAN, BRENNAN NOR	284 N 100 W, UNIT 18	Renter Move In	FINAL READ ELECTRIC A	Processed	07/06/2023	07/06/2023	stephanie
7757	10511	RISE, MCKINLEE & TREVOR	285 N 500 E	Renter Move In	FINAL READ ELECTRIC	Processed	07/14/2023	07/14/2023	stephanie
7787	10371013	RIVERVIEW/LAND LLC	215 N 250 E #7	Renter Move In	FINAL READ ELECTRIC	Processed	08/01/2023	08/01/2023	stephanie
7785	10501	ROSE, MCKINLEE & TREVOR	287 N 500 E	Renter Move In	FINAL READ ELECTRIC	Processed	07/31/2023	08/01/2023	stephanie
7810	1600	BOWERS, MATHEW	22 N 300 W	Renter Move In	FINAL READ ELECTRIC A	Processed	08/01/2023	08/01/2023	stephanie
7803	18111400	RIVERSIDE APTS/UNIT 14	180 E 125 N #14	Renter Move In	FINAL READ ELECTRIC A	Processed	08/01/2023	08/01/2023	stephanie
7786	21381	RICHINS, JESSICA & CARTER	230 N 100 W, UNIT 20	Renter Move In	FINAL READ ELECTRIC A	Processed	07/31/2023	08/04/2023	stephanie
7791	1354	SNYDER, BRIDGER J	33 N COMMERCIAL	Renter Move In	FINAL READ ELECTRIC A	Processed	08/04/2023	08/04/2023	stephanie
7805	1786	WARDELL BROTHERS PROPRTIE	350 E 125 N, UNIT 1	Renter Move In	FINAL READ ELECTRIC	Processed	08/14/2023	08/14/2023	stephanie
7817	18112300	RIVERSIDE APTS/UNIT 23	180 E 125 N #23	Renter Move In	FINAL READ ELECTRIC	Processed	08/18/2023	08/21/2023	stephanie
7822	1644	FISK, ANDREW	355 E 100 S	Renter Move In	FINAL READ ELECTRIC A	Processed	08/23/2023	08/23/2023	stephanie
7850	18112100	RIVERSIDE APTS/UNIT 21	180 E 125 N #21	Renter Move In	FINAL READ ELECTRIC A	Processed	08/25/2023	08/25/2023	stephanie
7851	1271	WOODY, JACQUELIN & STANLEY	145 N 250 E #4	Renter Move In	FINAL READ ELECTRIC A	Processed	08/25/2023	08/25/2023	stephanie
7847	1754	COLLIER, CELIA & CHRISTOPHER	508 W SHERIE ST	Renter Move In	FINAL READ ELECTRIC A	Processed	08/23/2023	08/25/2023	stephanie
7839	18961	WCJ PROPERTIES	782 E RUBY DR	Renter Move In	FINAL READ ELECTRIC	Processed	08/28/2023	08/28/2023	stephanie
7857	18111900	RIVERSIDE APTS/UNIT 19	180 E 125 N #19	Renter Move In	FINAL READ ELECTRIC A	Processed	08/28/2023	08/28/2023	stephanie
7856	24201	NIELSEN, MATTHEW	302 N 100 W, UNIT 93	Renter Move In	FINAL READ ELECTRIC	Processed	09/01/2023	09/01/2023	stephanie
7881	18110900	RIVERSIDE APTS/UNIT 9	180 E 125 N #9	Renter Move In	FINAL READ ELECTRIC A	Processed	09/05/2023	09/05/2023	stephanie
7893	18112200	RIVERSIDE APTS/UNIT 22	180 E 125 N #22	Renter Move In	FINAL READ ELECTRIC	Processed	09/25/2023	09/25/2023	stephanie
7914	18501	HURD, KIM & RUSTY	107 W 275 N, UNIT 6	Renter Move In	FINAL READ ELECTRIC	Processed	09/28/2023	09/28/2023	stephanie
7931	110280104	RIVERVIEW/LLC	168 E YOUNG #4	Renter Move In	FINAL READ ELECTRIC A	Processed	09/29/2023	09/29/2023	stephanie
7930	180060013	WARDELL BROTHERS PROPRTIE	88 E 250 N #1	Renter Move In	FINAL READ ELECTRIC	Processed	09/28/2023	09/29/2023	stephanie
7942	110261101	RIVERVIEW LLC	168 E YOUNG #5	Renter Move In	FINAL READ ELECTRIC	Processed	10/03/2023	10/03/2023	stephanie
7941	21251	FIELD, DESTINY & JOHN	112 N YOUNG #3	Renter Move In	FINAL READ ELECTRIC A	Processed	10/03/2023	10/03/2023	stephanie
7959	180140013	WARDELL BROTHERS PROPRTIE	385 N 100 W, UNIT 38	Renter Move In	FINAL READ ELECTRIC	Processed	10/05/2023	10/05/2023	stephanie
7961	1888	ROSE, MCKINLEE & TREVOR	88 E 250 N #9	Renter Move In	FINAL READ ELECTRIC	Processed	10/16/2023	10/16/2023	stephanie
7993	22851	RYNELL PROPERTIES	55 S STATE	Renter Move In	FINAL READ ELECTRIC A	Processed	10/25/2023	10/25/2023	stephanie
7992	70355102	RIVERVIEW	282 N 100 W, UNIT 22	Renter Move In	FINAL READ ELECTRIC	Processed	10/26/2023	10/27/2023	stephanie
8024	90170102	PHILLIPS, SANDY	192 N RIVERVIEW DR,	Renter Move In	FINAL READ ELECTRIC	Processed	11/06/2023	11/06/2023	stephanie
8023	11592	LARSEN, SHAYLI	96 W 100 N #1 (ADDITION)	Renter Move In	FINAL READ ELECTRIC	Processed	11/06/2023	11/10/2023	stephanie
8032	160330006	GEM SOLUTIONS	866 N SAPHIRE WAY (800 E) #51	Renter Move In	FINAL READ ELECTRIC A	Processed	11/13/2023	11/13/2023	stephanie
8085	10340114	LLC, RIVERVIEW LAND	219 S FOX DRIVE	Renter Move In	FINAL READ ELECTRIC	Processed	11/15/2023	11/15/2023	stephanie
8052	100160002	LITTLE, CAMILLE AND DUSTAN	225 N 250 E #3	Renter Move In	FINAL READ ELECTRIC A	Processed	11/17/2023	11/18/2023	stephanie
8075	110290605	RIVERVIEW APTS	213 W 100 S	Renter Move In	FINAL READ ELECTRIC	Processed	11/29/2023	11/29/2023	stephanie
8084	170070002	CELEBRITY CONSTRUCTION	168 E YOUNG ST #2	Renter Move In	FINAL READ ELECTRIC	Processed	11/30/2023	12/01/2023	stephanie
8096	2002	ERICKSON, KEVIN & ALLISON	755 E DANIS WAY	Renter Move In	FINAL READ ELECTRIC	Processed	12/01/2023	12/01/2023	stephanie
8101	24801	DAWSON, PROPERTY INVESTMEN	785 N SAGE DR (825 E) #14	Renter Move In	FINAL READ ELECTRIC A	Processed	12/01/2023	12/01/2023	stephanie
8091	26781	PENTZ, ADAM & KATRINA	330 N 100 W, UNIT 45	Renter Move In	FINAL READ ELECTRIC A	Processed	12/01/2023	12/01/2023	stephanie
8102	2159	WARDELL BROTHERS PROPRTIE	344 N 100 W, UNIT 83R	Renter Move In	FINAL READ ELECTRIC A	Processed	12/06/2023	12/06/2023	stephanie
8110	180150012	WARDELL BROTHERS PROPRTIE	88 E 250 N #19	Renter Move In	FINAL READ ELECTRIC	Processed	12/08/2023	12/08/2023	stephanie
8123	18711	NIELSEN, MCKEL & REED	88 E 250 N #10	Renter Move In	FINAL READ ELECTRIC	Processed	12/14/2023	12/14/2023	stephanie
8116	22221	JONES, HEATHER	745 E 825 N MAHOGANY RIDGE RD	Renter Move In	FINAL READ ELECTRIC	Processed	12/14/2023	12/14/2023	stephanie
8109	40087105	LITTLE, DARLENE	889 N SAPHIRE WAY	Renter Move In	FINAL READ ELECTRIC	Processed	12/14/2023	12/14/2023	stephanie
7363	26801	DAWSON, MICHAEL	112 N 600 E (SOUTH APT)	Renter Move In	FINAL READ ELECTRIC A	Processed	12/14/2023	12/14/2023	stephanie
7410	18461	WHEELER, LAURA & MARK	342 N 100 W, UNIT 88R	Renter Move Out	FINAL READ ELECTRIC	Processed	01/03/2023	01/03/2023	stephanie
7412	20482	HAMER, BLAKE & JACLYNN	160 E 125 N #20	Renter Move Out	FINAL READ ELECTRIC	Processed	01/27/2023	01/27/2023	stephanie
7411	18351	HAMBLIN, SHERELLE A	350 E 125 N, UNIT 2	Renter Move Out	FINAL READ ELECTRIC A	Processed	01/30/2023	01/30/2023	stephanie
7438	13794	ADAM D KIRKHAM, GINATTA S BUC	337 N 100 W, UNIT 33	Renter Move Out	FINAL READ ELECTRIC	Processed	01/27/2023	01/27/2023	stephanie
7442	1743	FRANCIS, L. SCOTT	225 N 250 E #4	Renter Move Out	FINAL READ ELECTRIC	Processed	02/01/2023	02/01/2023	stephanie
7453	20612	GORHAM, RANDALL	112 N 600 E (SOUTH APT)	Renter Move Out	FINAL READ ELECTRIC	Processed	02/06/2023	02/06/2023	stephanie
7485	24212	WESTBROEK, JORDAN	87 N 325 E	Renter Move Out	FINAL READ ELECTRIC	Processed	02/10/2023	02/10/2023	stephanie
7498	18043	GRAY, BRAXTON A	1023 N VISTA LOOP, UNIT 17	Renter Move Out	FINAL READ ELECTRIC A	Processed	02/22/2023	02/22/2023	stephanie
7515	14441	CAMPBELL, CONNOR	304 N 100 W, UNIT 92	Renter Move Out	FINAL READ ELECTRIC A	Processed	03/01/2023	03/01/2023	stephanie
7522	16194	BUNDERSON, MICHAEL & KATHERI	144 N 425 E APT A	Renter Move Out	FINAL READ ELECTRIC	Processed	03/20/2023	03/20/2023	stephanie
7551	1457	HESSELBACHER, PAUL	88 E 250 N #3	Renter Move Out	FINAL READ ELECTRIC	Processed	03/23/2023	03/23/2023	stephanie
7543	15784	CAMERON, LACI	347 1/2 S STATE ST	Renter Move Out	FINAL READ ELECTRIC A	Processed	03/30/2023	03/30/2023	stephanie
7548	21242	KARLI GALLEGOS, PARKER PETER	54 E 200 N, APT #4	Renter Move Out	FINAL READ ELECTRIC	Processed	03/29/2023	03/31/2023	stephanie
			381 N 100 W, UNIT 37	Renter Move Out	FINAL READ ELECTRIC A	Processed	03/29/2023	03/31/2023	stephanie

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7561	14932	WARD, NATHAN & KYLEE	13 N COMMERCIAL	Renter Move Out	FINAL READ ELECTRIC A	Processed	04/13/2023	04/14/2023	stephanie
7571	20454	ALEX KENER, DESTINY NORTON &	335 N 100 W, UNIT 30	Renter Move Out	FINAL READ ELECTRIC A	Processed	04/19/2023	04/19/2023	stephanie
7589	21832	SEAN DALY JR., SARA FERNANDE	1036 N VISTA LOOP, UNIT 8	Renter Move Out	FINAL READ ELECTRIC A	Processed	04/28/2023	05/01/2023	stephanie
7602	22481	OLIVER, RICHARD	389 N 100 W, UNIT 39	Renter Move Out	FINAL READ ELECTRIC A	Processed	05/03/2023	05/03/2023	stephanie
7604	11221	CROXFORD, BRENDA	180 E 125 N #4	Renter Move Out	FINAL READ ELECTRIC A	Processed	05/04/2023	05/04/2023	stephanie
7633	11293	JUDD, JARED	88 E 250 N #14	Renter Move Out	FINAL READ ELECTRIC A	Processed	05/22/2023	05/22/2023	stephanie
7636	1391	WHIMPEY, BRYAN	88 E 250 N #13	Renter Move Out	FINAL READ ELECTRIC A	Processed	05/23/2023	05/24/2023	stephanie
7640	21591	THOMSEN, CHRISTIAN	88 E 250 N #19	Renter Move Out	FINAL READ ELECTRIC A	Processed	05/24/2023	05/24/2023	stephanie
7647	18233	STOUT, KENADEE	180 E 125 N #10	Renter Move Out	FINAL READ ELECTRIC A	Processed	05/31/2023	05/31/2023	stephanie
7648	18002	BENNETT, JOEL	1120E MAHOGANY RIDGE RD	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/01/2023	06/01/2023	stephanie
7663	20271	RED ROCK ARCHERY	185N COMMERCIAL, STE 1	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/13/2023	06/13/2023	stephanie
7696	18812	WILEY, ERIN & JAMES	455 W 275 N	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/16/2023	06/16/2023	stephanie
7695	21252	BELINSKI, MARY BETH & JEREMY	385 N 100 W, UNIT 38	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/22/2023	06/22/2023	stephanie
7706	13541	QUINCIE BECKSTEAD, BRODY CA	33 N COMMERCIAL	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/22/2023	06/22/2023	stephanie
7709	20684	WOHALI BUILDERS LLC	786 E RUBY DR	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/26/2023	06/26/2023	stephanie
7707	22862	CHRISTIANSEN, AISLYN & SID	278 N 100 W, UNIT 23	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/26/2023	06/26/2023	stephanie
7722	17735	FARNSWORTH, CARSON	215 N 250 E #7	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/26/2023	06/26/2023	stephanie
7723	1745	GOODSELL, SHEILA	280 E 300 N	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/28/2023	06/28/2023	stephanie
7725	18963	CARNEY, RADAWN GIULIANA	782 E RUBY DR	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/28/2023	06/28/2023	stephanie
7724	19612	WILLET, CODY	798 E RUBY DR	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/28/2023	06/30/2023	stephanie
7727	1748	CROFT, DIANE & AARON	290 N STATE	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/28/2023	06/30/2023	stephanie
7743	10562	MOUNTAIN LUXURY HOMES	209 N STATE #D	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/28/2023	06/30/2023	stephanie
7744	19211	ADAIR, CALLI ANN	465 W 275 N	Renter Move Out	FINAL READ ELECTRIC A	Processed	07/05/2023	07/05/2023	stephanie
7694	15235	FUTTON, PAULINE M.	168 E YOUNG #4	Renter Move Out	FINAL READ ELECTRIC A	Processed	07/05/2023	07/05/2023	stephanie
7752	15751	RICHINS, MCKAYLIE	180 E 125 N #14	Renter Move Out	FINAL READ ELECTRIC A	Processed	06/14/2023	07/10/2023	stephanie
7779	1795	LUCERO, ASHLYNN	180 E 125 N #23	Renter Move Out	FINAL READ ELECTRIC A	Processed	07/10/2023	07/10/2023	stephanie
7780	18503	WILKINSON, TRISTAN	107 W 275 N, UNIT 6	Renter Move Out	FINAL READ ELECTRIC A	Processed	07/28/2023	07/31/2023	stephanie
7794	17861	PRATT, PADEN & WHITNEY	350 E 125 N, UNIT 1	Renter Move Out	FINAL READ ELECTRIC A	Processed	07/28/2023	07/31/2023	stephanie
7816	10473	DALLAN ROWLEY, KAYDEN JORGE	180 E 125 N #22	Renter Move Out	FINAL READ ELECTRIC A	Processed	08/04/2023	08/04/2023	stephanie
7808	1746	PFANNENSTIEL, MONTE & JENNA	168 E YOUNG ST #2	Renter Move Out	FINAL READ ELECTRIC A	Processed	08/14/2023	08/14/2023	stephanie
7823	17162	REMKE, RAINI	145 N 250 E #4	Renter Move Out	FINAL READ ELECTRIC A	Processed	08/14/2023	08/14/2023	stephanie
7830	25041	LIBERTY BOUTENYARD, THALIA S	180 E 125 N #21	Renter Move Out	FINAL READ ELECTRIC A	Processed	08/21/2023	08/21/2023	stephanie
7838	13783	WYATT THOMAS, HAILEE BLONQUI	168 E YOUNG #5	Renter Move Out	FINAL READ ELECTRIC A	Processed	08/24/2023	08/24/2023	stephanie
7855	16573	PATINO, JOSE & KENZY	180 E 125 N #19	Renter Move Out	FINAL READ ELECTRIC A	Processed	08/24/2023	08/25/2023	stephanie
7848	1757	JEFFERSON, TROY	88 E 250 N #1	Renter Move Out	FINAL READ ELECTRIC A	Processed	08/28/2023	08/28/2023	stephanie
7860	11462	FULLER, SOOZI & BRAXTON	192 N RIVERVIEW DR.	Renter Move Out	FINAL READ ELECTRIC A	Processed	08/30/2023	08/31/2023	stephanie
7861	11593	CORDEIRO, RODOLFO & RACHEL	866 N SAPHIRE WAY (800 E) #51	Renter Move Out	FINAL READ ELECTRIC A	Processed	08/30/2023	08/31/2023	stephanie
7859	14641	PORTER RANDALL, KATRINA JOH	180 E 125 N #9	Renter Move Out	FINAL READ ELECTRIC A	Processed	09/01/2023	09/01/2023	stephanie
7880	23402	MATTINSON, MEGAN & KADEN	300 E 100 S	Renter Move Out	FINAL READ ELECTRIC A	Processed	09/07/2023	09/07/2023	stephanie
7888	1257	WYNN, KILEY	88 E 250 N #9	Renter Move Out	FINAL READ ELECTRIC A	Processed	09/28/2023	10/02/2023	stephanie
7933	16271	GITTLEMAN, MYRON & ELLEN	213 W 100 S	Renter Move Out	FINAL READ ELECTRIC A	Processed	10/10/2023	10/10/2023	stephanie
7957	1514	TRUSSELL, CHRIS & AMBER	407 E 300 N	Renter Move Out	FINAL READ ELECTRIC A	Processed	10/13/2023	10/13/2023	stephanie
7963	10502	YESENIA SASTRE, ARMANDO GAR	287 N 500 E	Renter Move Out	FINAL READ ELECTRIC A	Processed	10/25/2023	10/25/2023	stephanie
7977	22852	SEARLE, HANNAH & TRAVIS	282 N 100 W, UNIT 22	Renter Move Out	FINAL READ ELECTRIC A	Processed	10/31/2023	10/31/2023	stephanie
7994	1114	CORTES, ULISES	755 E DANIS WAY	Renter Move Out	FINAL READ ELECTRIC A	Processed	10/31/2023	10/31/2023	stephanie
8001	1177	PITCHER, DAVID	219 S FOX DRIVE	Renter Move Out	FINAL READ ELECTRIC A	Processed	10/31/2023	10/31/2023	stephanie
8003	18101	HORTON, JOSHUA S.	96 W 100 N #1 (ADDITION)	Renter Move Out	FINAL READ ELECTRIC A	Processed	11/13/2023	11/13/2023	stephanie
8027	21581	RAEL, KAELEEN & KYLE	88 E 250 N #20	Renter Move Out	FINAL READ ELECTRIC A	Processed	11/13/2023	11/13/2023	stephanie
8026	25931	KEYES, COLTEN	299 W 100 S	Renter Move Out	FINAL READ ELECTRIC A	Processed	11/13/2023	11/13/2023	stephanie
8076	22223	BISCHOFF, JENIFER	889 N SAPHIRE WAY	Renter Move Out	FINAL READ ELECTRIC A	Processed	11/29/2023	11/29/2023	stephanie
8082	20022	COVILL, CHAD & ANNA	785 N SAGE DR (825 E) #14	Renter Move Out	FINAL READ ELECTRIC A	Processed	11/29/2023	12/01/2023	stephanie
8098	17534	BRESHEARS, CONLEY	215 N 250 E #6	Renter Move Out	FINAL READ ELECTRIC A	Processed	12/06/2023	12/06/2023	stephanie
8099	21592	CHRISTIANSEN, AISLYN & SID	88 E 250 N #18	Renter Move Out	FINAL READ ELECTRIC A	Processed	12/06/2023	12/06/2023	stephanie
8103	14442	CAMPBELL, ETHAN	88 E 250 N #10	Renter Move Out	FINAL READ ELECTRIC A	Processed	12/12/2023	12/14/2023	stephanie
8111	16712	MACK, MARRIE & STERLING	745 E 825 N MAHOGANY RIDGE RD	Renter Move Out	FINAL READ ELECTRIC A	Processed	12/15/2023	12/15/2023	stephanie
8119	1764	TOONE, TYLER	183 S 100 W	Renter Move Out	FINAL READ ELECTRIC A	Processed	12/15/2023	12/15/2023	stephanie
8120	20043	ALBERT, TRINATEE	285 N 100 W, UNIT 13	Renter Move Out	FINAL READ ELECTRIC A	Processed	12/20/2023	12/20/2023	stephanie
8128	18462	WITTE, MITZI & SYLAS	350 E 125 N, UNIT 2	Renter Move Out	FINAL READ ELECTRIC A	Processed	02/09/2023	02/09/2023	stephanie
7462	1033	GRISTMILL LLC	388 N STATE SUITE B	Reopen a Closed Account	FINAL READ ELECTRIC A	Processed	09/01/2023	09/01/2023	stephanie
7891	10340114	LLC, RIVERVIEW LAND	225 N 250 E #3	Reopen a Closed Account	FINAL READ ELECTRIC A	Processed	09/01/2023	09/01/2023	stephanie

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Order No.	Account No.	Customer	Location	Order Type	Order Code	Status	Order Date	Effective Date	Creator
8089	170450008	RISCHAR, CARNETTE & ROBERT	830 N 900 E #11	Reopen a Closed Account		Processed	12/01/2023	12/01/2023	stephanie
7492	21821	JOHANSEN, JAQUE & ASHLEY B	431 W 275 N	Replace Garbage Can	DELIVER GARBAGE CAN	Processed	02/27/2023	03/01/2023	stephanie
7558	19501	KIRK ANDERSON, JESSYKA THOM	286 N 250 E	Replace Garbage Can	REPLACE BROKEN GARB	Processed	04/10/2023	04/10/2023	stephanie
7367	100120001	ROSE, AUGGIE (BARN)	301W 100 S	Replace Meter	REPLACE ELECTRIC MET	Processed	01/10/2023	01/10/2023	stephanie
7399	1359	COMER, ZAC	460 N 300 W	Replace Meter	REPLACE WATER METER	Processed	01/25/2023	01/25/2023	stephanie
7397	200077002	MADEO, MIKE & NANCY	490 W 175 N (LOT 48)	Replace Meter	REPLACE WATER METER	Processed	01/25/2023	01/30/2023	stephanie
7396	24661	BAMBROUGH, DON C. & NADINE	526 IMPERIAL DR	Replace Meter	REPLACE WATER METER	Processed	02/09/2023	02/09/2023	stephanie
7463	120286001	T-MOBILE WEST CORP	535 N RIVER RD - CELL TOWER	Replace Meter	REPLACE ELECTRIC MET	Processed	02/10/2023	02/10/2023	stephanie
7452	50065001	LOTT, MARION	375 N 400 E VET CLINIC	Replace Meter	REPLACE ELECTRIC MET	Processed	02/13/2023	02/13/2023	stephanie
7464	120155002	TRUE VALUE	265 N STATE	Replace Meter	REPLACE ELECTRIC MET	Processed	02/13/2023	02/13/2023	stephanie
7465	23961	THE POST #133	50 S 600 E	Replace Meter	REPLACE ELECTRIC MET	Processed	02/17/2023	02/17/2023	stephanie
7473	90830001	JONES, JEFF (SHOP & HOME)	1015 S HIGHWAY 66	Replace Meter	REPLACE ELECTRIC MET	Processed	03/01/2023	03/01/2023	stephanie
7499	123333303	SWIFT, RON	600 W Swift Farms/Lagoons	Replace Meter	REPLACE WATER METER	Processed	03/01/2023	03/01/2023	stephanie
7512	90830001	JONES, JEFF (SHOP & HOME)	1015 S HIGHWAY 66	Replace Meter	REPLACE WATER METER	Processed	02/27/2023	03/09/2023	stephanie
7491	1068	WOLSEY, CORTNEY	457 WISLAND RD	Replace Meter	REPLACE WATER METER	Processed	02/27/2023	03/09/2023	stephanie
7490	200090002	DICOU, LAYLENE DRENNAN	623 W 150 N (LOT #37)	Replace Meter	REPLACE WATER METER	Processed	03/24/2023	03/28/2023	stephanie
7529	130015001	TRIBUZIO, EUGENE & NAN	573 WISLAND RD	Replace Meter	REPLACE WATER METER	Processed	03/24/2023	03/28/2023	stephanie
7527	190090001	FENSTERMAKER, BRENT J & DEB	175 E IMPERIAL DR. (LOT 17)	Replace Meter	REPLACE WATER METER	Processed	03/24/2023	03/29/2023	stephanie
7526	111990002	HEYWOOD, JOHN	473 E RIDGELINE DR #19	Replace Meter	REPLACE WATER METER	Processed	03/24/2023	03/29/2023	stephanie
7528	1673	ANDERSON, LAURA	340 WISLAND RD	Replace Meter	REPLACE WATER METER	Processed	04/21/2023	04/20/2023	stephanie
7581	81380001	JOHNSON, LANCE	406 WLARKSPUR LAND (375 N)	Replace Meter	REPLACE WATER METER	Processed	04/21/2023	04/25/2023	stephanie
7586	10070008	WARDELL BROTHERS CONSTRUC	386 E 125 N	Replace Meter	REPLACE WATER METER	Processed	04/21/2023	04/25/2023	stephanie
7583	111520004	SARGENT, JACE	679 E 100 S	Replace Meter	REPLACE WATER METER	Processed	04/21/2023	04/25/2023	stephanie
7585	1676	HARRISON, KIMBERLY & JOHN	590 WISLAND RD	Replace Meter	REPLACE WATER METER	Processed	04/21/2023	04/25/2023	stephanie
7584	80200001	MUDROW, DIETER	501 WISLAND RD	Replace Meter	REPLACE WATER METER	Processed	04/21/2023	04/25/2023	stephanie
7623	1759	HILL & SMITH INC	385 E 300 N-STONE BLDG	Replace Meter	REPLACE ELECTRIC MET	Processed	05/08/2023	05/08/2023	stephanie
7645	190050003	CHRISTENSEN, CLINT	177 S SANDPIPER WAY #9	Replace Meter	REPLACE WATER METER	Processed	05/16/2023	05/16/2023	stephanie
7628	200082006	PETERSON, DENNIS	520 W 150 N, LOT 45	Replace Meter	REPLACE WATER METER	Processed	05/22/2023	05/25/2023	stephanie
7630	80100001	TURNER, TERRY	650 WISLAND RD	Replace Meter	REPLACE WATER METER	Processed	05/22/2023	05/25/2023	stephanie
7629	80267003	SKOGLUND, JULIE	326 WISLAND ROAD	Replace Meter	REPLACE WATER METER	Processed	05/22/2023	05/30/2023	stephanie
7625	111080001	PORTER, LYLE - COMO FUR FARM	750 E 100 S (SO. LANE)	Replace Meter	REPLACE WATER METER	Processed	05/22/2023	05/30/2023	stephanie
7626	90716002	LDS CHURCH	11 W YOUNG ST/TEMP NEW CHUR	Replace Meter	REPLACE WATER METER	Processed	05/22/2023	05/31/2023	stephanie
7627	200078002	HUTCHINSON, ANDY	491 W 175 N	Replace Meter	REPLACE WATER METER	Processed	06/01/2023	06/02/2023	stephanie
7651	105050002	ELDRIDGE, TY & MARINA	225 E 125 N	Replace Meter	REPLACE ELECTRIC MET	Processed	06/22/2023	06/22/2023	stephanie
7704	40065002	POORE, ANISSA	193 N 600 E	Replace Meter	REPLACE WATER METER	Processed	06/28/2023	07/06/2023	stephanie
7716	111154002	PARRY, PAUL	641 E 100 S	Replace Meter	REPLACE WATER METER	Processed	06/28/2023	07/06/2023	stephanie
7734	111965004	ROBERTS, NATHAN & CASUREE	573 E RIDGELINE DRIVE	Replace Meter	REPLACE WATER METER	Processed	06/28/2023	07/06/2023	stephanie
7715	1290	WICKLIFFE, ROBERT D	101 N COMMERCIAL ST #2	Replace Meter	REPLACE ELECTRIC MET	Processed	06/29/2023	07/06/2023	stephanie
7717	1430	JOHNS, MERLENE	10 N SCOTT DR (LOT #34) #1	Replace Meter	REPLACE WATER METER	Processed	06/28/2023	07/06/2023	stephanie
7719	1969	DINKEL, VALARIE & BRAD	702 N 550 W (MEADOWCRK WAY)	Replace Meter	REPLACE WATER METER	Processed	06/28/2023	07/06/2023	stephanie
7718	200075002	DEWITT, LESLIE A. & KATHRYN	486 W 175 N	Replace Meter	REPLACE WATER METER	Processed	06/28/2023	07/06/2023	stephanie
7756	60220008	PENTZ, SHELLEY EZELL	468 W 700 E	Replace Meter	REPLACE ELECTRIC MET	Processed	07/13/2023	07/13/2023	stephanie
7773	110928003	CRIDDLE, CLINT	401 E IMPERIAL DR	Replace Meter	REPLACE WATER METER	Processed	07/13/2023	07/13/2023	stephanie
7772	111153003	SHARP, DEANNA	665 E 100 S	Replace Meter	REPLACE WATER METER	Processed	07/26/2023	08/04/2023	stephanie
7774	200076003	REBECCA LONDON & PHILLIP ELM	485 W 175 N (LOT 50)	Replace Meter	REPLACE WATER METER	Processed	07/26/2023	08/04/2023	stephanie
7811	1270	CHENEY, KELLY & WAYNE	1151 W ISLAND CIRCLE	Replace Meter	REPLACE WATER METER	Processed	08/04/2023	08/04/2023	stephanie
7775	50680000	CENTERPOINT CONSTRUCTION II	289 E 400 N	Replace Meter	REPLACE WATER METER	Processed	08/09/2023	08/09/2023	stephanie
7820	111360001	BOARD OF EDUCATION (HS PORT	344 E YOUNG PORTABLE	Replace Meter	REPLACE WATER METER	Processed	08/09/2023	08/09/2023	stephanie
7843	120276001	KIMBAL, BRET (STORAGE)	520 N INDUSTRIAL WAY	Replace Meter	REPLACE ELECTRIC MET	Processed	07/26/2023	08/17/2023	stephanie
7835	24722	BOARD OF EDUCATION	344 E YOUNG ST, PORTABLE 504	Replace Meter	REPLACE WATER METER	Processed	08/16/2023	08/21/2023	stephanie
7833	26611	BOARD OF EDUCATION	344 E YOUNG ST, PORTABLE 505	Replace Meter	REPLACE ELECTRIC MET	Processed	08/22/2023	08/21/2023	stephanie
7825	100305001	WILSON, KELLY AND LEISA	80 S 100 W	Replace Meter	REPLACE WATER METER	Processed	08/22/2023	08/21/2023	stephanie
7825	111001012	NELSON, REBECCA AND ANTHON	494 IMPERIAL DR	Replace Meter	REPLACE WATER METER	Processed	08/22/2023	08/21/2023	stephanie
7824	111157003	NIELSON, NATHAN	543 E 100 S	Replace Meter	REPLACE WATER METER	Processed	08/21/2023	08/24/2023	stephanie
7827	17901	AVEN, ADDY & BRANDON	84 W 100 N	Replace Meter	REPLACE WATER METER	Processed	08/21/2023	08/24/2023	stephanie
7828	200080003	NELSON, BLAKE	494 W 175 N	Replace Meter	REPLACE WATER METER	Processed	08/21/2023	08/24/2023	stephanie
7829	30090002	PETERSON, JAMIE	706 N 700 E	Replace Meter	REPLACE WATER METER	Processed	08/21/2023	08/24/2023	stephanie
7907	105050002	ELDRIDGE, TY & MARINA	225 E 125 N	Replace Meter	REPLACE ELECTRIC MET	Processed	09/19/2023	09/19/2023	stephanie
7852	120170002	BOARD OF EDUCATION-MMS	MORGAN MIDDLE SCHOOL-2ND M	Replace Meter	REPLACE ELECTRIC MET	Processed	09/19/2023	09/19/2023	stephanie
7920	100330005	TRUSSELL, JEFF	26 S 100 W #2	Replace Meter	REPLACE WATER METER	Processed	09/25/2023	10/04/2023	stephanie

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7919	100341102	WALKER, ADAM & SHAUNA	31 S 100 W	Replace Meter	REPLACE WATER METER	Processed	09/27/2023	10/04/2023	stephanie
7921	200091001	MECHAM, SCOTT	607 W 150 N	Replace Meter	REPLACE WATER METER	Processed	09/27/2023	10/04/2023	stephanie
7923	990250001	JACOBSON, FREDDIE	725 W ISLAND RD	Replace Meter	REPLACE WATER METER	Processed	09/27/2023	10/04/2023	stephanie
7918	120127001	1ST BANK	120 N STATE #3	Replace Meter	REPLACE WATER METER	Processed	09/27/2023	10/05/2023	stephanie
7924	130025006	CRAFTON, DENNIS	711 N MEADOW CK WAY	Replace Meter	REPLACE WATER METER	Processed	09/27/2023	10/05/2023	stephanie
7925	170570001	FOLLETT, DAN	829 N EAGLE VIEW DR (1100 E)	Replace Meter	REPLACE WATER METER	Processed	09/27/2023	10/05/2023	stephanie
7949	99878602	GENEVA ROCK PRODUCTS	600 E WATER CONNECTION/STAT	Replace Meter	REPLACE WATER METER	Processed	10/05/2023	10/05/2023	stephanie
7945	110930002	BROOKS, ALAN	375 E IMPERIAL DR	Replace Meter	REPLACE WATER METER	Processed	10/05/2023	10/06/2023	stephanie
7946	23042	ELLIS, TIFFANY & JAMES	165 S STATE	Replace Meter	REPLACE WATER METER	Processed	10/05/2023	10/06/2023	stephanie
7950	602222003	HADDOCK, JENNIFER	416 N 700 E	Replace Meter	REPLACE WATER METER	Processed	10/05/2023	10/06/2023	stephanie
7948	80292001	BUTTERS, RON	485 N 300 W	Replace Meter	REPLACE WATER METER	Processed	10/05/2023	10/06/2023	stephanie
7947	80850005	MECHAM, ZACHARY L	77 N 375 W	Replace Meter	REPLACE WATER METER	Processed	10/05/2023	10/06/2023	stephanie
7969	120250003	RIDLEY'S FAMILY MARKET	275 E 300 N #1	Replace Meter	REPLACE ELECTRIC MET	Processed	10/17/2023	10/17/2023	stephanie
7991	90060004	MERZ, SHAWN	174 N 100 W #2	Replace Meter	REPLACE ELECTRIC MET	Processed	10/24/2023	10/24/2023	stephanie
8036	80410001	TURNER, FRANCIS	269 N 300 W (IN DRIVEWAY)	Replace Meter	REPLACE ELECTRIC MET	Processed	11/01/2023	11/01/2023	stephanie
7988	10310005	CHALMERS, DEREK & REBECCA	239 N 250 E	Replace Meter	REPLACE WATER METER	Processed	11/06/2023	11/06/2023	stephanie
7984	110036001	WILLIAMS, DAN	171 S 100 EAST	Replace Meter	REPLACE WATER METER	Processed	11/06/2023	11/06/2023	stephanie
7983	111156005	WARD, KARI	581 E 100 S	Replace Meter	REPLACE WATER METER	Processed	10/25/2023	11/06/2023	stephanie
7987	1507	STRAITTON, NASHEENA & LEVI	515 WISLAND RD	Replace Meter	REPLACE WATER METER	Processed	10/25/2023	11/06/2023	stephanie
7986	80205000	WEBSTER, DAVID	540 N WEBSTER DRIVE	Replace Meter	REPLACE WATER METER	Processed	10/25/2023	11/06/2023	stephanie
8021	27161	ROJAS, DANIEL	217 N 300 W	Replace Meter	REPLACE WATER METER	Processed	11/03/2023	11/07/2023	stephanie
8058	20041	ERICKSON, JACOB	285 N 100 W, UNIT 13	Replace Meter	REPLACE ELECTRIC MET	Processed	11/17/2023	11/17/2023	stephanie
8059	23511	BUNKER, LEGRAND & CASSIDY	15 N WILLIAMS CIR	Replace Meter	REPLACE ELECTRIC MET	Processed	11/17/2023	11/17/2023	stephanie
8064	2653	COLE ROWSER/FORD CONSTRUC	376 N 100 W, UNIT 50	Replace Meter	REPLACE ELECTRIC MET	Processed	11/27/2023	11/27/2023	stephanie
8062	111050002	BOTT, ERIN & GIFFORD	556 E 100 S	Replace Meter	REPLACE WATER METER	Processed	11/24/2023	11/29/2023	stephanie
8061	111590001	SARGENT, KADE & AMIE	707 E 100 S	Replace Meter	REPLACE WATER METER	Processed	11/24/2023	11/29/2023	stephanie
8063	80030002	FRY, HERALD	512 WISLAND RD	Replace Meter	REPLACE WATER METER	Processed	11/24/2023	11/29/2023	stephanie
8113	111110001	STAN - MINK FARM STUART	750 E 100 S	Replace Meter	REPLACE WATER METER	Processed	12/13/2023	12/13/2023	stephanie
8124	1809	WALKER, KELLY	401 N STATE	Replace Meter	REPLACE WATER METER	Processed	12/18/2023	12/18/2023	stephanie
8121	30400002	HANSEN, SHERI	885 N 700 E	Replace Meter	REPLACE WATER METER	Processed	12/20/2023	12/20/2023	stephanie
8129	111151008	MOAKE, MICHAEL & SHANNON	685 E 100 S	Replace Meter	REPLACE WATER METER	Processed	12/20/2023	12/21/2023	stephanie
8130	1597	HEYWOOD, SHERSTI & KIRT	512 W 175 N	Replace Meter	REPLACE WATER METER	Processed	12/20/2023	12/21/2023	stephanie
8131	20732	GEORGE WHEATLEY, ANGELA HO	524 WISLAND RD	Replace Meter	REPLACE WATER METER	Processed	12/20/2023	12/21/2023	stephanie
8132	601950001	EVANS, MICHAEL	404 N 700 E	Replace Meter	REPLACE WATER METER	Processed	12/20/2023	12/21/2023	stephanie
8138	100360001	RICH, SHARON	45 N 100 W	Replace Meter	WATER LEAK	Processed	12/28/2023	12/28/2023	stephanie
7762	70290004	US TITLE	175 N STATE	Terminate Services	REMOVE METER	Processed	07/01/2023	07/01/2023	stephanie
7678	70600001	FARM, DAWSON MINK	84 W 200 N	Terminate Services	REMOVE METER	Processed	08/12/2023	07/05/2023	stephanie
8134	20300001	MORGAN CITY DEPOT BLDG	98 E COMMERCIAL DEPOT	Work Request	CHECK FOR WATER LEAK	Processed	12/26/2023	12/26/2023	stephanie
7365	1545	BROWN, DOUG & JULIE	87/81 N 325 E	Work Request	CHECK FOR WATER LEAK	Processed	01/05/2023	01/05/2023	stephanie
7371	10490001	ROSEMAN, BURKE	137 N 250 E	Work Request	CHECK FOR WATER LEAK	Processed	01/10/2023	01/11/2023	stephanie
7382	10490001	ROSEMAN, BURKE	328 N 100 W, UNIT 49	Work Request	DELIVER GARBAGE CAN	Processed	01/20/2023	01/23/2023	stephanie
7385	2359	COLE ROWSER/FORD CONSTRUC	764 N SUNSET DR	Work Request	DELIVER GARBAGE CAN	Processed	01/20/2023	01/24/2023	stephanie
7388	2308	WALL BUILDERS	154 W 150 S	Work Request	PICK UP GARBAGE CAN	Processed	01/25/2023	01/26/2023	stephanie
7401	160055003	MURRAY, MATTHEW	137 N 250 E	Work Request	CHECK FOR WATER LEAK	Processed	01/26/2023	01/27/2023	stephanie
7409	10490001	ROSEMAN, BURKE	70 N 200 W	Work Request	PICK UP GARBAGE CAN	Processed	01/30/2023	01/30/2023	stephanie
7414	1299	FAIR, ROBERT A	121 W 425 N, UNIT 69	Work Request	DELIVER GARBAGE CAN	Processed	01/31/2023	01/31/2023	stephanie
7424	2415	COLE ROWSER/FORD CONSTRUC	131 W 425 N, UNIT 70	Work Request	DELIVER GARBAGE CAN	Processed	01/31/2023	01/31/2023	stephanie
7422	2416	COLE ROWSER/FORD CONSTRUC	296 N 100 W, UNIT 94	Work Request	DELIVER GARBAGE CAN	Processed	01/31/2023	01/31/2023	stephanie
7423	2419	COLE ROWSER/FORD CONSTRUC	298 N 100 W, UNIT 91	Work Request	DELIVER GARBAGE CAN	Processed	01/31/2023	01/31/2023	stephanie
7425	2422	COLE ROWSER/FORD CONSTRUC	270 N 300 W	Work Request	CHECK FOR WATER LEAK	Processed	02/08/2023	02/08/2023	stephanie
7447	80570001	HASLAM, RODNEY	752 N SUNSET DR	Work Request	DELIVER GARBAGE CAN	Processed	02/07/2023	02/09/2023	stephanie
7446	2309	WALL BROTHERS CONSTRUCTION	762 N 700 E	Work Request	CHECK FOR WATER LEAK	Processed	02/09/2023	02/09/2023	stephanie
7451	30120001	HEINER, MICHAEL DENN	326 N 100 W, UNIT 44	Work Request	DELIVER GARBAGE CAN	Processed	02/15/2023	02/15/2023	stephanie
7468	2358	COLE ROWSER/FORD CONSTRUC	852 N EAGLE VIEWDR	Work Request	DELIVER GARBAGE CAN	Processed	02/22/2023	02/22/2023	stephanie
7480	2208	JONES, DAREN	334 N 100 W, UNIT 46	Work Request	DELIVER GARBAGE CAN	Processed	02/22/2023	02/22/2023	stephanie
7479	2481	COLE ROWSER/FORD CONSTRUC	336 N 100 W, UNIT 47	Work Request	DELIVER GARBAGE CAN	Processed	02/22/2023	02/22/2023	stephanie
7478	2482	COLE ROWSER/FORD CONSTRUC	337 N 100 W, UNIT 33	Work Request	REPLACE BROKEN GARB	Processed	02/21/2023	02/21/2023	stephanie
7475	20481	ROBERTS, NATHAN	246 W 200 N	Work Request	CHECK FOR WATER LEAK	Processed	02/13/2023	02/27/2023	stephanie
7456	100610005	HEATHER, WARDELL	828 E CLOVER WAY	Work Request	DELIVER GARBAGE CAN	Processed	03/20/2023	03/20/2023	stephanie
7517	2306	WALL BUILDERS		Work Request					

Morgan City
Service Order Listing
UTILITIES - 01/01/2023 to 12/31/2023

Order No.	Account No.	Customer	Location	Order Type	Order Code	Status	Order Date	Effective Date	Creator
7520	23042	ELLIS, TIFFANY & JAMES	165 S STATE	Work Request	CHECK ELECTRIC METER	Processed	03/21/2023	03/21/2023	stephanie
7521	20440001	DINSDALE, CATHY	11 N COMMERCIAL #1	Work Request	CHECK FOR WATER LEAK	Processed	03/22/2023	03/23/2023	stephanie
7550	2542	WALL BROTHERS CONSTRUCTION	726 N SUNSET DR	Work Request	PERMANENT POWER	Processed	03/30/2023	03/30/2023	stephanie
7541	30070006	JENSEN, SCOTT A.	696 N 700 E	Work Request	CHECK METERS	Processed	03/27/2023	03/31/2023	stephanie
7525	2480	COLE ROWSER/FORD CONSTRUC	330 N 100 W, UNIT 45	Work Request	TURN ON UTILITY	Processed	03/23/2023	04/10/2023	stephanie
7578	80310006	VANTASSELL, KASEY & ADAM	415 N 300 W	Work Request		Processed	04/17/2023	04/17/2023	stephanie
7570	2289	ADAMS CONSTRUCTION SERVICE	443 W 275 N	Work Request		Processed	04/18/2023	04/18/2023	stephanie
7568	1354	SNYDER, BRIDGER J	33 N COMMERCIAL	Work Request		Processed	04/24/2023	04/24/2023	stephanie
7588	21361	LUMINARY INVESTMENTS, LLC	851 N GRAND VIEW DR	Work Request	DELIVER GARBAGE CAN	Processed	05/02/2023	05/02/2023	stephanie
7600	50340001	SMITH, VAUGHN	483 E 300 N	Work Request	PICK UP GARBAGE CAN	Processed	05/15/2023	05/15/2023	stephanie
7622	80640001	MCMILLAN, MARK & MELINDA	370 N 300 W	Work Request	CHECK FOR WATER LEAK	Processed	05/22/2023	05/22/2023	stephanie
7632	21191	IPSEN, SKYLER & CAYLA	115 N 375 W	Work Request	REPLACE BROKEN GARB	Processed	06/05/2023	06/05/2023	stephanie
7656	40020001	CARTER, BLAIR	290 N 600 E	Work Request	CHECK FOR WATER LEAK	Processed	06/08/2023	06/08/2023	stephanie
7671	40065002	POORE, ANISSA	193 N 600 E	Work Request	REPLACE BROKEN GARB	Processed	06/12/2023	06/12/2023	stephanie
7681	2542	WALL BROTHERS CONSTRUCTION	726 N SUNSET DR	Work Request	DELIVER GARBAGE CAN	Processed	06/27/2023	06/27/2023	stephanie
7712	2307	WALL BROTHERS CONSTRUCTION	822 E CLOVER WAY	Work Request	DELIVER GARBAGE CAN	Processed	07/05/2023	07/05/2023	stephanie
7740	17901	AVEN, ADDY & BRANDON	84 W 100 N	Work Request	SINK HOLE	Processed	06/21/2023	07/05/2023	stephanie
7699	1799	SMITH, JILAINE	56 S 200 E	Work Request	CHECK WATER METER	Processed	07/10/2023	07/10/2023	stephanie
7753	20070002	CURFEW, DOUGLAS	350 E 100 N	Work Request	CHECK FOR WATER LEAK	Processed	07/25/2023	07/25/2023	stephanie
7766	1959	TRAPPERS CONSTRUCTION/DAVI	1040 E MAHOGANY RIDGE RD	Work Request	DELIVER GARBAGE CAN	Processed	08/07/2023	08/07/2023	stephanie
7795	24721	BOARD OF EDUCATION	235 E YOUNG ST - MOR PORTBLE	Work Request	REMOVE METER	Processed	08/14/2023	08/14/2023	stephanie
7814	111495002	MEDARIS, ALAN R.	544 E RED ROCK WAY #10	Work Request	STREET LIGHT OUT	Processed	08/17/2023	08/23/2023	stephanie
7821	30270001	GRASTEIT, MARILYN	570 W OLD HIGHWAY RD	Work Request	CHECK ELECTRIC METER	Processed	08/24/2023	08/24/2023	stephanie
7844	170170003	MCCAIN, ANDREW E.	827 N 775 E VIOLET DR.	Work Request	CHECK FOR WATER LEAK	Processed	08/28/2023	08/31/2023	stephanie
7854	50210001	HUNT, KEN	288 N STATE	Work Request	PICK UP GARBAGE CAN	Processed	09/07/2023	09/07/2023	stephanie
7890	170080002	LARSON, TIM	862 N VIOLET DR (775 E)	Work Request	CHECK METERS	Processed	09/12/2023	09/12/2023	stephanie
7895	80330004	RICH/RICH, ROXANNE	395 N 300 W	Work Request	BOX WORK	Processed	09/13/2023	09/14/2023	stephanie
7899	80900001	DURRANT, MERLE	75 N 300 W	Work Request	CHECK FOR WATER LEAK	Processed	09/18/2023	09/18/2023	stephanie
7906	90230002	STUDIO ONE (WEITZEL)	12 N STATE	Work Request	CHECK FOR WATER LEAK	Processed	09/20/2023	09/20/2023	stephanie
7898	60180004	PENTZ, DEAN	765 E 375 N	Work Request	WATER LEAK	Processed	09/25/2023	09/25/2023	stephanie
7910	90240002	SMITH PROPERTY & DEVELOPME	30 N STATE	Work Request	BOX WORK	Processed	09/28/2023	09/28/2023	stephanie
7916	25001	COVILL, CHAD & ANNA	448 W ISLAND RD	Work Request	CHECK WATER METER	Processed	09/28/2023	09/28/2023	stephanie
7929	20951	VALLIS LEASING LLC	VALLIS HOTEL/177 N COMMERCIA	Work Request	WATER LEAK	Processed	09/18/2023	09/29/2023	stephanie
7905	120230001	MORGAN CITY-S. MORGAN CEM.	355 S STATE - CEMETARY	Work Request	SPRINKLERS	Processed	09/27/2023	09/29/2023	stephanie
7917	40311001	MORGAN CITY-(FRWY BEAUT WA)	400 E 300 N (frontage rd)	Work Request	CHECK ELECTRIC METER	Processed	10/04/2023	10/04/2023	stephanie
7928	111156005	WARD, KARI	581 E 100 S	Work Request	HANGING WIRE	Processed	10/10/2023	10/10/2023	stephanie
7944	80650003	JENSEN, MARK	390 N 300 W	Work Request	PICK UP GARBAGE CAN	Processed	10/19/2023	10/19/2023	stephanie
7955	100570001	KIMBAL, GAYLENE	226 W 100 N #1	Work Request	PICK UP GARBAGE CAN	Processed	10/19/2023	10/19/2023	stephanie
7956	1514	TRUSSELL, CHRIS & AMBER	407 E 300 N	Work Request	REPLACE BROKEN GARB	Processed	10/17/2023	10/24/2023	stephanie
7975	110830001	TOYN, MARSHA	410 E 100 S	Work Request	CHECK FOR WATER LEAK	Processed	10/25/2023	10/25/2023	stephanie
7973	11131	WELLS, ADAM	340 N 400 E	Work Request	WATER PRESSURE	Processed	10/31/2023	10/31/2023	stephanie
7967	80620001	TYTECA, ALBERT	358 N 300 W	Work Request	DELIVER GARBAGE CAN	Processed	10/31/2023	10/31/2023	stephanie
7989	1877	LITTLE, RAY W.	555 W 275 N	Work Request	PICK UP GARBAGE CAN	Processed	11/02/2023	11/02/2023	stephanie
7996	2631	WALL BUILDERS	749 N JENNY LANE	Work Request	DELIVER GARBAGE CAN	Processed	10/31/2023	10/31/2023	stephanie
8000	2681	COLE ROWSER/FORD CONSTRUC	346 N 100 W, UNIT 87R	Work Request	DELIVER GARBAGE CAN	Processed	10/31/2023	10/31/2023	stephanie
7971	60340001	ERICKSEN, BARBARA	740 E 525 N	Work Request	CHECK FOR WATER LEAK	Processed	11/02/2023	11/02/2023	stephanie
8016	111080001	PORTER, LYLE - COMO FUR FARM	750 E 100 S (SO. LANE)	Work Request	PICK UP GARBAGE CAN	Processed	11/02/2023	11/02/2023	stephanie
8019	2679	COLE ROWSER/FORD CONSTRUC	338 N 100 W, UNIT 89R	Work Request	DELIVER GARBAGE CAN	Processed	11/02/2023	11/02/2023	stephanie
8014	80440002	FEARN, GEORGE A	217 N 300 W	Work Request	CHECK FOR WATER LEAK	Processed	11/08/2023	11/08/2023	stephanie
7972	90240002	SMITH PROPERTY & DEVELOPME	30 N STATE	Work Request	YARDLIGHT	Processed	11/13/2023	11/13/2023	stephanie
8038	90240002	SMITH PROPERTY & DEVELOPME	30 N STATE	Work Request	PICK UP GARBAGE CAN	Processed	11/15/2023	11/15/2023	stephanie
8025	26591	PATINO, KENZY & JOSE	476 W 150 N #6	Work Request	DELIVER GARBAGE CAN	Processed	11/21/2023	11/21/2023	stephanie
8047	2603	COLE ROWSER/FORD CONSTRUC	352 N 100 W, UNIT 86R	Work Request	CHECK ELECTRIC METER	Processed	11/27/2023	11/27/2023	stephanie
8049	170125002	BERGH, KATHLEEN	830 N 775 E	Work Request	DELIVER GARBAGE CAN	Processed	11/28/2023	11/28/2023	stephanie
8051	2674	COLE ROWSER/FORD CONSTRUC	354 N 100 W, UNIT 88R	Work Request	PICK UP GARBAGE CAN	Processed	11/29/2023	11/29/2023	stephanie
8071	2678	COLE ROWSER/FORD CONSTRUC	344 N 100 W, UNIT 83R	Work Request	CHECK ELECTRIC METER	Processed	12/01/2023	12/01/2023	stephanie
8073	2675	COLE ROWSER/FORD CONSTRUC	348 N 100 W, UNIT 84R	Work Request	DELIVER GARBAGE CAN	Processed	12/05/2023	12/05/2023	stephanie
8079	170070002	CELEBRITY CONSTRUCTION	755 E DANIS WAY	Work Request	PICK UP GARBAGE CAN	Processed			
7962	1189	VLAANDEREN, NATAYA & CHAD	95 N 300 W	Work Request	CHECK ELECTRIC METER	Processed			
8094	2604	COLE ROWSER/FORD CONSTRUC	340 N 100 W, UNIT 82R	Work Request	DELIVER GARBAGE CAN	Processed			

Morgan City
Service Order Listing
UTILITIES - 01/01/2023 to 12/31/2023

Order No.	Account No.	Customer	Location	Order Type	Order Code	Status	Order Date	Effective Date	Creator
8100	100520003	CARTER, TEL & SHERIE	47 N 200 W	Work Request	WATER LEAK	Processed	12/05/2023	12/06/2023	stephanie
8107	2680	COLE ROWSER/FORD CONSTRUC	342 N 100 W, UNIT 88R	Work Request	DELIVER GARBAGE CAN	Processed	12/11/2023	12/12/2023	stephanie
8114	170375004	JOHNSON, JASON M	835 N 800 E SAPHIRE WAY #64	Work Request	WATER MAIN	Processed	12/14/2023	12/14/2023	stephanie
8127	20023	MACK, MARRIE & STERLING	785 N SAGE DR (825 E) #14	Work Request	PICK UP GARBAGE CAN	Processed	12/20/2023	12/21/2023	stephanie
8136	2386	WALL, MICHAEL	816 E CLOVER WAY	Work Request	DELIVER GARBAGE CAN	Processed	12/28/2023	12/28/2023	stephanie

TOLLING AGREEMENT

The State of Utah, on behalf of the Utah Department of Environmental Quality, Division of Water Quality (the “**Division**”), and Morgan City Corporation (“**Morgan**”), collectively referred to as the “**Parties**,” enter into the following Tolling Agreement.

WHEREAS, on November 9, 2023, the **Division** issued a Notice of Violation and Compliance Order (“NOV/CO”), Docket No. M23-10, alleging potential violations (“Tolled Claims”) of the Utah Water Quality Act in Utah Code § 19-5-101 *et. seq.* and Utah Admin. Code R317-1 *et. seq.* (“Water Quality Rules”).

The **Parties**, in consideration of the covenants set out in this Tolling Agreement, agree as follows:

1. Notwithstanding any other provision of this Tolling Agreement, the period commencing **on December 31, 2023, and ending on June 30, 2024** (the “Tolling Period”), shall not be included in computing the running of any statute of limitations potentially applicable to any actions brought by the **Division** on the Tolled Claims.
2. In any action brought on the Tolled Claims, **Morgan** shall not assert, plead, or raise against the **Division** in any fashion, whether by answer, motion or otherwise, any claim, defense, or avoidance based on the running of any statute of limitations, laches, or other timeliness defenses during the Tolling Period, and any statute of limitations shall be tolled during and for the Tolling Period.
3. **Morgan** reserves the right to assert all responses and defenses to the **Division’s** Tolled Claims, including but not limited to statutes of limitations, laches, or other timeliness defenses, with the sole exception of defenses based on the passage of time during the Tolling Period. This Tolling Agreement shall not be deemed to revive any claims that, as of December 31, 2023 are barred, in whole or in part, by any statute of limitations or by the doctrine of laches, or other timeliness defenses; and this Tolling Agreement shall not prevent **Morgan** from asserting that any Tolled Claims have expired, are untimely or are unduly delayed, so long as grounds exist for such assertions aside from the passage of time during the Tolling Period.
4. Nothing in this Tolling Agreement constitutes an admission by **Morgan** or alters the claims or defenses available to any **Party**, except as specifically provided in this Tolling Agreement.
5. This Tolling Agreement does not alter any statement in the November 9, 2023, NOV/CO issued to **Morgan** and does not alter **Morgan’s** obligation to comply with any applicable environmental laws in the Utah Water Quality Act or Water Quality Rules.

6. Any **Party** may terminate this Tolling Agreement under this paragraph for any reason and without cause. This Tolling Agreement shall automatically terminate on June 30, 2024, unless:
 - a. terminated at an earlier date by prior written notice of the **Party** wishing to terminate, sent by certified mail or registered mail, return receipt requested, addressed to the **Parties** at the addresses indicated below; or
 - b. extended by written agreement signed by all **Parties**.
7. Any termination prior to June 30, 2024, shall not be effective until thirty (30) days after the date of sending a written notice described in Paragraph 6(a). A **Party** giving such notice shall specify the exact date on which the termination first becomes effective. That date cannot extend beyond June 30, 2024 even if the effective date will be less than thirty (30) days after the date of sending a written notice described in Paragraph 6(a). This Agreement will always automatically terminate on June 30, 2023 unless extended by a written agreement signed by all Parties under Paragraph 6(b).
8. All notices or other written communications under this Agreement shall be sent by mail or email to:

a. If to the **Division**:

John K. Mackey
Director, Division of Water Quality
Utah Department of Environmental Quality
P.O. Box 144870
Salt Lake City, Utah 84114-4870
jkmackey@utah.gov

With a copy to:

Haley Sousa
Assistant Attorney General, Utah Office of the Attorney General
Environment, Health & Human Services Division
P.O. Box 140873
Salt Lake City, Utah 84114-0873
hsousa@agutah.gov

b. If to **Morgan**:

With a copy to:

Gary Crane
Morgan City Attorney
gcrane@morgancityut.org

9. This Tolling Agreement is not intended to affect any claims by or against third parties.
10. This Tolling Agreement is effective upon execution by the **Parties**, and without the requirement of filing with any Court, and may be signed in counterparts.
11. This Tolling Agreement contains the entire agreement between the **Parties** as to this subject, and no statement, promise, or inducement made by any **Party** to this Tolling Agreement that is not set forth in this Tolling Agreement shall be valid or binding, nor shall it be used in construing the terms of this Tolling Agreement as set forth in this Tolling Agreement.
12. The undersigned counsel of each **Party** certifies that he or she is authorized to enter into the terms and conditions of this Tolling Agreement, and to execute for and bind the **Party** whom he or she represents for purposes of this Tolling Agreement.

IN WITNESS WHEREOF, the **Parties** execute this Tolling Agreement.

For Utah Department of Environmental
Quality, Division of Water Quality
By: Leanna Littler-Woolf
Assistant Director

Date: _____



For ~~Morgan~~ City Corporation
By: Ty Bailey
Title: City Manager

Date: 2-12-24

